

# Southwest Ranches Town Council REGULAR MEETING

Agenda of April 11, 2019

Southwest Ranches Council Chambers 7:00 PM Thursday

13400 Griffin Road Southwest Ranches, FL 33330

<u>Mayor</u> Doug McKay <u>Vice Mayor</u> Gary Jablonski Town Council
Freddy Fisikelli
Bob Hartmann
Denise Schroeder

Town Administrator
Andrew D. Berns
Town Financial
Administrator
Martin Sherwood, CPA CGFO

Town Attorney
Keith M. Poliakoff, J.D.

Assistant Town
Administrator/Town Clerk
Russell C. Muniz, MMC

In accordance with the Americans with Disabilities Act of 1990, persons needing special accommodation, a sign language interpreter or hearing impaired to participate in this proceeding should contact the Town Clerk at (954) 434-0008 for assistance no later than four days prior to the meeting.

- 1. Call to Order/Roll Call
- 2. Pledge of Allegiance
- 3. Volunteer Appreciation Day Proclamation

# **Quasi-Judicial Hearings**

Please be advised that the following item on the Council agenda is quasi-judicial in nature. All witnesses who will testify on any item in this portion of the Agenda will be sworn. Participants who are members of the general public need not be sworn and will not be subject to cross-examination if they are not sworn. However, the Council shall not assign un-sworn testimony the same weight or credibility as sworn testimony in its deliberations.

The applicant has the burden of proof. After the applicant's concluding remarks, the hearing will be closed and no additional testimony, material or argument will be allowed unless the Council chooses to request additional testimony. The members of the Town Council will then deliberate.

All evidence relied upon by reasonably prudent persons in the conduct of their affairs may be considered in these proceedings, regardless of whether such evidence would be admissible in a court. Hearsay evidence may supplement or explain other evidence, but shall not alone support a conclusion unless it would be admissible over objection in court. The material in the Town Council agenda will be considered as evidence without authentication.

Anyone representing an organization must present written evidence of his or her authority to speak on behalf of the organization in regard to the matter under consideration. Each person who appears during a public hearing shall identify himself or herself and give their address, and if appearing on behalf of an organization state

the name and mailing address of the organization. The Council may, on its own motion or at the request of any person, continue the hearing to a fixed date, time and place.

No notice shall be required if a hearing is continued to a fixed date, time and place. Any Applicant shall have the right to request and be granted one continuance; however, all subsequent continuance shall be granted at the discretion of the Council and only upon good cause shown.

### 4. New Horizon Church Site Plan Amendment

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-70-18 BY NEW HORIZON UNITED METHODIST CHURCH, INC. TO AMEND ITS EXISTING SITE PLAN TO CONSTRUCT A MISSION BUILDING; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

5. Resolution Approving Site Plan Modification for Sikh Society

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-71-18 BY THE SIKH SOCIETY OF FLORIDA, INC. TO AMEND ITS EXISTING SITE PLAN TO ADD AN ADDITIONAL 2,287 SQUARE FEET OF BUILDING AREA TO THE EXISTING FACILITY; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

### 6. Public Comment

- All Speakers are limited to 3 minutes.
- Public Comment will last for 30 minutes.
- All comments must be on non-agenda items.
- All Speakers must fill out a request card prior to speaking.
- All Speakers must state first name, last name, and mailing address.
- Speakers will be called in the order the request cards were received.
- · Request cards will only be received until the first five minutes of public comment have concluded.
- 7. Board Reports
- 8. Council Member Comments
- 9. Legal Comments
- 10. Administration Comments

### **Resolutions**

11. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, ENACTING A ZONING IN PROGRESS, PURSUANT TO SECTION 005-240 OF THE TOWN'S UNIFIED LAND DEVELOPMENT CODE, TO FURTHER REGULATE ANY NEW COMMERCIAL NURSERY, EXPANSION OF AN EXISTING

COMMERCIAL NURSERY, OR STORAGE OR GROWTH OF ANY PLANT MATERIAL IN CONTAINERS; ENACTING A ZONING IN PROGRESS FOR A PERIOD OF TIME NOT TO EXCEED SIX (6) MONTHS OR UNTIL THE TOWN'S REVISED REGULATIONS HAVE BEEN ADOPTED, WHICHEVER IS SOONER; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

# 12. Approval of Minutes

a. February 28, 2019 Regular Meeting

### 13. Appointments

- a. Broward League of Cities 2019-2020 Director, Alternate, and Second Alternate Appointments
- b. Comprehensive Planning Advisory Board Appointment At Large

# 14. Adjournment

PURSUANT TO FLORIDA STATUTES 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS COUNCIL WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE OR SHE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, THE AFFECTED PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHERWISE INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.

# TOWN OF SOUTHWEST RANCHES FLORIDA

### **PROCLAMATION**

**WHEREAS**, the Town of Southwest Ranches was predicated on the notion of residents selflessly assisting one another to preserve our rural lifestyle; and

WHEREAS, that spirit of selflessness is the basis for volunteerism; and

**WHEREAS**, the Town of Southwest Ranches recognizes that volunteering improves our quality of life and increases community participation and ownership; and

**WHEREAS**, volunteers are vital to our future and we recognize the role they will continue to play in shaping our community; and

**WHEREAS**, it is the express desire of the Town of Southwest Ranches to recognize the hard work, dedication, and passion of our valued volunteers.

**NOW, THEREFORE**, I, Doug McKay, through the authority vested in me as Mayor of the Town of Southwest Ranches, do hereby proclaim April 11, 2019 as

### "VOLUNTEER APPRECIATION DAY"

in the Town of Southwest Ranches, Florida, and urge all citizens to volunteer and put their hearts into volunteerism throughout the year. By volunteering and recognizing those who serve, we can promote partnership, understanding, and compassion in our community.

**IN WITNESS WHEREOF**, I have hereunto set my hand and caused the official seal of the Town of Southwest Ranches to be affixed hereto this  $11^{th}$  day of April, 2019.

| Doug McKay, | MAYOF |
|-------------|-------|



Town of Southwest Ranches 13400 Griffin Road Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall (954) 434-1490 Fax Town Council Doug McKay, Mayor Gary Jablonski, Vice Mayor Freddy Fisikelli, Council Member Bob Hartmann, Council Member Denise Schroeder, Council Member

Andrew D. Berns, Town Administrator Keith M. Poliakoff, JD, Town Attorney Russell Muniz, Assistant Town Administrator/Town Clerk Martin D. Sherwood, CPA, CGMA, CGFO, Town Financial Administrator

# **COUNCIL MEMORANDUM**

**TO:** Honorable Mayor McKay and Town Council

VIA: Andy Berns FROM: Jeff Katims 4/11/2019

**SUBJECT:** New Horizon Church Site Plan Amendment

# Recommendation

Staff recommends approval, with conditions.

# **Unanimous Vote of the Town Council Required?**

Yes

# **Strategic Priorities**

A. Sound Governance

# **Background**

New Horizon Church requests approval of a 4,708 square-foot mission building next to the existing church buildings. The building includes offices, meeting space and storage. The application also includes additional landscaping and lighting upgrades to comply with the Town's Dark Sky Ordinance. No additional parking is required or proposed.

# Fiscal Impact/Analysis

N/A

# **Staff Contact:**

Jeff Katims, AICP, CNU-A

### **ATTACHMENTS:**

| Description                        | Upload Date | Туре            |
|------------------------------------|-------------|-----------------|
| New Horizon Reso - TA Approved     | 4/3/2019    | Resolution      |
| Staff Report                       | 4/3/2019    | Backup Material |
| Mail notice radius map             | 4/2/2019    | Backup Material |
| Mailing list                       | 4/2/2019    | Backup Material |
| Site Plan & Architectural Drawings | 4/3/2019    | Exhibit         |
| Landscape Plans                    | 4/3/2019    | Exhibit         |
| Engineering Drawings               | 4/3/2019    | Exhibit         |
| Photometric Plan                   | 4/3/2019    | Exhibit         |

### RESOLUTION NO. 2019-

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-70-18 BY NEW HORIZON UNITED METHODIST CHURCH, INC. TO AMEND ITS EXISTING SITE PLAN TO CONSTRUCT A MISSION BUILDING; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

**WHEREAS,** New Horizon United Methodist Church, Inc. is the current owner ("Owner") of the property legally described as the South ½ of Tract "A", New Horizon United Methodist Church, according to the plat thereof recorded in Plat Book 122, Page 46 of the Broward County, Florida Public Records ("Property); and

**WHEREAS**, Owner requests modification of its existing approved site plan to construct a 4,708 square-foot mission building to be used in conjunction with its existing 16,870 square-foot fellowship hall and classroom buildings. Further, Owner will make landscape improvements, will relocate its dumpster, and will comply with the Town's Dark Sky Ordinance; and

**WHEREAS,** the Town Council of the Town of Southwest Ranches, Florida ("Town Council") finds that the proposed site plan amendment complies with the requirements of the Town's Unified Land Development Code ("ULDC").

# NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:

**Section 1.** That the foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution.

**Section 2.** That, upon reviewing the application, analysis of the Town Staff, testimony, and the evidence submitted at a duly noticed public hearing held on April 11, 2019 the Town Council hereby approves Site Plan Modification Application No. SP-070-18, in accordance with the following stipulated conditions:

1. Removal of invasive trees on the subject site prior to issuance of a building permit.

2. Certification of actual lighting values by a qualified engineer in conformance with the photometric plan prior to issuance of a C.O.

<u>Section 3.</u> The Mayor, Town Administrator and Town Attorney are each authorized to execute any and all documents necessary to effectuate the intent of this Resolution.

**Section 4.** This Resolution shall become effective immediately upon adoption.

PASSED AND ADOPTED by the Town Council of the Town of Southwest

| Ranches,    | Florida,                                      | this            |          | day      | of                      |          | _, 2019,                         | on       | a | motion      | by |
|-------------|---|-----------------|----------|----------|-------------------------|----------|----------------------------------|----------|---|-------------|----|
| and secon   | ded by  |                 |          |          |                         |          |                                  |          |   |             |    |
|             | McKay<br>Jablon<br>Fisikel<br>Hartm<br>Schroe | ski<br>li<br>an |          |          |                         | N<br>Al  | yes<br>ays<br>osent<br>ostaining | <br><br> |   | -<br>-<br>- |    |
| ATTEST:     |   |                 |          |          |                         | Doug     | МсКау, Ма                        | yor      |   |             |    |
| Russell Mu  | ıniz, Assist                                  | ant To          | wn Adr   | ninistra | _<br>ator/ <sup>*</sup> | Town Cle | erk                              |          |   |             |    |
| Approved    | as to Form                                    | and (           | Correctr | ness:    |                         |          |                                  |          |   |             |    |
| Keith Polia | koff, Towi                                    | n Attor         | ney      |          |                         |          |                                  |          |   |             |    |

34725006.1

# TOWN OF SOUTHWEST RANCHES TOWN COUNCIL AGENDA REPORT

**DATE:** April 11, 2019

**SUBJECT:** Site Plan Application SP-70-18; New Horizon United Methodist

Church, Inc.

**ADDRESS:** 5741 South Flamingo Road, Southwest Ranches, FL

**LOCATION:** West of South Flamingo Road and north of Stirling Road

**ZONING:** CF, Community Facility

**FUTURE** 

**LAND USE:** Community Facilities

**AGENT:** Square One Architecture, Inc.

OWNER/

**PETITIONER:** New Horizon United Methodist Church, Inc.

**REQUEST:** Site plan modification for a new mission building, relocated

dumpster enclosure and landscape improvements.

**EXHIBITS:** Staff Report, Aerial Photograph, Mail Notification Radius Map, and

Mailing List.

### **BACKGROUND**

The New Horizon United Methodist Church ("Petitioner") owns 14.92 acres between St. Marks Church to the north and Potential Church in Cooper City to the south. The Flamingo Road corridor is to the east and a residence within Southwest Ranches is to the west. A frontage road within the New Horizon property runs parallel to Flamingo Road, connecting it with St. Marks Church and Archbishop McCarthy High School to the north. The frontage road becomes SW 58<sup>th</sup> Street as it turns west along the southern boundary of the New Horizon property, providing access to two residential properties within the Town.

All of New Horizon's facilities are located on a single 5.03-acre tract ("Subject Site"). The remaining 9.89 acres are undeveloped and are unaffected by this Application. The subject site comprises the south half of the New Horizon Methodist Church Plat, which allows church-related uses without limiting the amount of building area.

# **MODIFICATION REQUEST AND ANALYSIS**

<u>Request.</u> The Petitioner requests approval of a mission building adjacent to the existing fellowship hall and classroom building. The building is designed for 4,708 square feet of office, assembly and storage use within a 3,490 square-foot ground floor and 1,218 square-foot partial second floor. The mission building replaces a 1,200 square-foot modular church office that was removed in 2016.

<u>Site development standards.</u> The new building would bring the total building area on the subject site to 21,578 square feet, resulting in a Floor Area Ratio of 0.98 where a maximum of 0.35 is permitted (complies), a plot coverage of 8.1% where a maximum of 35% is permitted (complies), and an impervious area of 54.6% where a maximum of 60% is permitted (complies). The building substantially exceeds the minimum setback requirements on all sides.

<u>Parking.</u> A total of 96 parking spaces are required for the existing facilities based upon the code requirement of one space per 50 square feet of public assembly area. Implicit in the code requirement is that ancillary facilities are either not used concurrent with the main worship area, or do not generate substantial need for parking, such as Sunday school classrooms and administrative offices. The existing 152 onsite parking spaces are sufficient to accommodate full use of the public assembly facilities, including the approximately 1,800 square-feet of new assembly area in the mission hall, as well as the Sunday school classrooms. Together, these facilities would require 148 parking spaces, resulting in a 4-space surplus.

<u>Architecture.</u> The proposed mission building features a sloping, blue standing-seam metal roof. The roof height of 27 feet and 2 inches to its highest point complies with the 35-foot height limit in the CF District.

<u>Landscaping.</u> The site plan provides southern live oaks and a hedge between the parking lot and Flamingo Road canal, a hedge in between the existing fellowship building and SW 58<sup>th</sup> Street, and foundation landscaping on the west and east sides of the proposed mission building. Invasive trees will be removed prior to issuance of a building permit.

The existing dumpster will be relocated from its current location, in front of the proposed mission building, to the northwest side of the parking area, and will have an opaque 6.5-foot-high enclosure with firebush shrubs along the perimeter to providing screening.

<u>Lighting.</u> The Petitioner is replacing its noncompliant parking lot fixtures with full-cutoff fixtures that will result in no light spillover onto abutting properties and rights-of-way.

<u>Outside agency approvals.</u> The Central Broward Water Control District and Fire Marshall have approved the site plan modification.

### **STAFF RECOMMENDATION:**

Staff finds that Application No. SP-70-18 complies with the applicable requirements of the Unified Land Development code, and recommends approval subject to the following conditions:

- 1. Removal of invasive trees on the subject site prior to issuance of a building permit.
- 2. Certification of actual lighting values by a qualified engineer in conformance with the photometric plan prior to issuance of a C.O.

**AERIAL MAP** 







1,500 Ft Notice Area

Southwest Ranches Boundary

5741 S. Flamingo Road

Southwest Ranches Parcels

Location Map | New Horizon United Methodist Church 5741 S. Flamingo Road

BCPA\_TAX\_ROLL.NAME\_LINE\_1 BCPA\_TAX\_ROLL.NAME\_LINE\_2

MILLER, RICHARD

NEW HORIZON UNITED METHODIST CHURCH INC

SCHWARTZ, STEPHEN

RHODES, PAMELA SEGAL H/E RHODES, JACOB

KRUTCHIK, JONATHAN A & TAMMY GAM LAND INVESTMENTS LLC

ALONSO,ARMANDO

RATLIFF,BARBARA H/E RATLIFF,TODD

WINNER, STEVEN A & NANCY B

JENKS, JONATHAN E

GAM LAND INVESTMENTS LLC

ARCHDIOCESE OF MIAMI ST MARK CHURCH

MEARS,ALBERT C SR ALBERT C MEARS SR REV LIV TR

ARIN, ESRA

SHERIDAN HOUSE INC

GAM LAND INVESTMENTS LLC

ENGLISH, JENNIFER A

CALLAWAY, ROBERT L JR & PATRICIA

SAMUELSON, WALTER T & SAMUELSON, LUANN M
ARCHDIOCESE OF MIAMI ST MARK CHURCH

HAY, SCOTT ALAN

ARCHDIOCESE OF MIAMI EDWARD A. MCCARTHY H.S.

JENSEN, DAMARIS & STEVE MCCARTNEY, SHELDON W FAHIMIPOUR, MEHRDAD & COTY

ARCHDIOCESE OF MIAMI ST MARK CHURCH

**NEW HORIZON UNITED METHODIST CHURCH INC** 

LOPEZ, JENNIFER N LOPEZ TR

DISBERGEN,GERRIT MILLER.RICHARD

FRENCH, RICHARD D & KAREN R

NEW HORIZON UNITED METHODIST CHURCH INC

ANDRADE, MARIANO & CLAUDIA XUE
PEACEFUL HAVEN RANCH GROUP INC
PEACEFUL HAVEN RANCH GROUP INC

POTENTIAL CHURCH INC %FINANCE DEPARTMENT

**VOLUNTEER REALTY CO** 

TOWN OF SOUTHWEST RANCHES
TOWN OF SOUTHWEST RANCHES
EVERGLADES SUGAR & LAND CO LLC

BLAIR,MARY ANN H/E BLAIR,OLIVER ANDREW ETAL POTENTIAL CHURCH INC %FINANCE DEPARTMENT

GEARY,MICHAEL S & LAURA V

FERNANDEZ, FRANCISCO M GONZALEZ-FERNANDEZ, ODALIS P

5741 SW 127 AVENUE LLC PORTELA,FERNANDO & DARYL FERNANDEZ,ALEXANDER & LOURDES

Southwest Ranches.1420.1.NoticeParcels.xls

| BCPA_TAX_ROLL.ADDRESS_LINE_1 | BCPA_TAX_ROLL.CITY |
|------------------------------|--------------------|
| 12850 SW 56TH ST             | SOUTHWEST RANCHES  |
| 5741 S FLAMINGO ROAD         | SOUTHWEST RANCHES  |
| 5750 SW 127 AVE              | SOUTHWEST RANCHES  |
| 12851 STIRLING ROAD          | SOUTHWEST RANCHES  |
| 5780 SW 128 AVE              | SOUTHWEST RANCHES  |
| 2700 SW 64 AVE               | DAVIE              |
| 1704 SW 142 AVE              | FORT LAUDERDALE    |
| 5800 SW 130 AVE              | SOUTHWEST RANCHES  |
| 5951 SW 127 AVE              | SOUTHWEST RANCHES  |
| 12851 SW 56 ST               | SOUTHWEST RANCHES  |
| 2700 SW 64 AVE               | DAVIE              |
| 9401 BISCAYNE BLVD           | MIAMI SHORES       |
| 5740 SW 130 AVE              | SOUTHWEST RANCHES  |
| 4157 IMPERIAL WAY            | PROVO              |
| 1700 S FLAMINGO RD           | DAVIE              |
| 2700 SW 64 AVE               | DAVIE              |
| 5810 SW 130TH AVE            | SOUTHWEST RANCHES  |
| 5490 SW 128TH AVE            | SOUTHWEST RANCHES  |
| 12737 EQUESTRIAN TR          | DAVIE              |
| 9401 BISCAYNE BLVD           | MIAMI SHORES       |
| 12751 SW 56 ST               | SOUTHWEST RANCHES  |
| 9401 BISCAYNE BLVD           | MIAMI SHORES       |
| 5925 SW 128 AVE              | SOUTHWEST RANCHES  |
| 5790 SW 130 AVE              | SOUTHWEST RANCHES  |
| 1826 SW 195 AVE              | MIRAMAR            |
| 9401 BISCAYNE BLVD           | MIAMI SHORES       |
| 5741 S FLAMINGO ROAD         | SOUTHWEST RANCHES  |
| 5742 SW 130 AVE              | SOUTHWEST RANCHES  |
| 12401 SW 58 ST               | SOUTHWEST RANCHES  |
| 5700 SW 130TH AVE            | SOUTHWEST RANCHES  |
| 5950 SW 127 AVE              | SOUTHWEST RANCHES  |
| 5741 S FLAMINGO ROAD         | SOUTHWEST RANCHES  |
| 6001 APPALOOSA TRL           | SOUTHWEST RANCHES  |
| 12601 STIRLING ROAD          | SOUTHWEST RANCHES  |
| 12601 STIRLING ROAD          | SOUTHWEST RANCHES  |
| 12401 STIRLING ROAD          | COOPER CITY        |
| 4900 DAVIE ROAD              | DAVIE              |
| 13400 GRIFFIN RD             | SOUTHWEST RANCHES  |
| 13400 GRIFFIN RD             | SOUTHWEST RANCHES  |
| 5361 NW 110 AVE              | MIAMI              |
| 6011 SW 127 AVE              | SOUTHWEST RANCHES  |
| 12401 STIRLING ROAD          | COOPER CITY        |
| 5990 SW 127TH AVE            | SOUTHWEST RANCHES  |
| 14011 NW 13 ST               | PEMBROKE PINES     |
| 5700 GRIFFIN RD #200         | DAVIE              |
| 5801 SW 127 AVE              | SOUTHWEST RANCHES  |
| 5920 SW 127 AVE              | SOUTHWEST RANCHES  |

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# **SPECIFICATIONS**:

# **Division 1 General Requirements**

1. All work shall be performed in accordance with all codes, rules, regulations and restrictions having jurisdiction on this project.

2. The contractor shall acquaint themselves with the site and verify all dimensions prior to construction. Square One Architecture, inc. shall be notified of any deviation from the plans prior to construction. Drawings shall not be scaled and written dimensions shall take precedence over scaled dimensions.

3. Shop drawings and submittals shall be submitted to Square One Architecture, inc. for general review and

design compliance via e-mail in PDF format. Allow one week from date of receipt for review. Door and window package including Florida or Maimi-Dade product approval.

Roofing including Florida or Maimi-Dade product approval.

Millwork.

Steel fabrication.

Aluminum fabrication Gutters and downspouts

Elevator. Finishes.

Interior doors and hardware Equipment and accessories.

Mechanical system products

Lighting and electrical devices. Plumbing fixtures.

4. Deposits and fees: Deposits for utilities including water meter, shall be made by the G.C.. Permit fees, as required, shall be paid by the Owner for that portion of the work.

5. Contractor shall maintain temporary electrical, water, and sanitary facilities for the duration of the

6. Contractor shall remove all construction debris from the jobsite and leave the building broom clean. All glass shall be thoroughly cleaned at the completion of construction. All paint specks and any other construction marks shall be removed by the contractor.

7. Substitutions: Where the product of a certain Manufacturer is specified substitution shall be may be presented to the Architect for approval. If said substitution is equal in quality and performance to those specified in the Contract Documents, and is in strict accordance with all governing building codes the substitution may accepted at Architect's discretion.

8. Contractor shall register all products with manufacturer to maintain manufacturer's warranty.

9. Allowances: None

10. LEED Submittals: Not used.

# **Division 2 Site Construction**

1. See Civil Engineer Notes, Structural Notes and Geotechnical Report.

2. Provide smooth clean finished grade sloping away from building and paving. Finished grade shall be 6" minimum below elevation of ground floor. Grade shall be ready for turf sod and planting unless otherwise specified by Landscape Architect.

Landscaping and Irrigation 1. See Landscape Architect plans.

# **Division 3 Concrete**

Poured In Place Concrete 1. See Civil Engineer and Structural Notes

Division 4 Masonry

Concrete Block Masonry 1. See Structural Notes

Light Gauge Steel Framing 1. Interior Partitions - DIETRICH, 1-5/8"x3-5/8"; 1-5/8"x6"; 1-5/8"x8", 25 gauge, or equal.

# Structural Steel Fabrications

2. Steel used in exterior shall be primed by fabricator.

Aluminum Screen 1. Knotwood Screen System, 50mm x 50mm frames with 16mm x 38mm horizontal slats and 75mm spaces

2. Finish: Iroko powder coat.

Aluminum Handrail 1. Knotwood Railing System, 50mm x 50mm posts with base plate at 48" o.c. maximum, 16mm x 38mm

horizontal slats and 75mm spaces between. 2. Handrail gripping surface shall be 36" above sloped walking surface, continuous with a perimeter dimension of 4" minimum and 6 1/4" maximum and a cross-section dimension of 2 1/4" max. Provide a 75mm space between bottom of handrail and first slat. Provide less than 4" from the bottom of the lowest slat and walking surface. Provide a 12" horizontal extension at the top and bottom of the ramp.

Aluminum Guardrail

1. Knotwood Railing System, 50mm x 50mm posts with base plate at 48" o.c. maximum, 16mm x 38mm

horizontal slats and 75mm spaces between. 2. Guardrail shall be 42" above walking surface,

3. Finish: Solid color powder coat t.b.d.

4. Finish: Solid color powder coat t.b.d.

3. Handrail gripping surface shall be 36" above the nosing of the stairs, continuous with a perimeter dimension of 4" minimum and 6 ¼" maximum and a cross-section dimension of 2 ¼" max. Provide 1 ½" space between handrail and guardrail or wall. Provide a 12" horizontal extension at the top of stairs and a sloped extension equal to the distance od one tread at the bottom of stairs.

**Division 6 Wood and Plastics** 

Structural Wood Framing

1. See Structural Notes.

Plywood Sheathing 1. See Structural Notes.

1. Cabinet carcasses shall be prefinished 2-sided birch or maple veneer 3/4" plywood, frameless cabinets with edge band all front edges with veneer to match cabinet faces. All semi-exposed and exposed surfaces shall be finished with veneer to match cabinet faces. Provide 2 ½" deep, 4 ½" tall toe kick finished with matte black

2. Cabinet faces shall be MDF flush panels with full (flush) overlay. Finish shall be straight grain white oak veneer with dark stain and 2 coats of satin polyurethane. All edges shall be edge band with veneer to match

3. Drawers shall be prefinished solid birch or maple with dovetail joints.

4. All operating hardware shall be Hafele. Drawer sliders shall be soft-close. Hinges shall be 110 degree, concealed, soft-close, adjustable. Shelving shall be supported with metal shelf pins.

5. All door and drawer pulls shall be Richelieu model number 7990192140, chrome.

# **Division 7 Thermal and Moisture Protection**

1. Standing Seam Metal: Drexel Metals DMC 175S, 18" wide Galvalume 24 gauge flat panels, Pacific Blue SR29. Miami-Dade product approval number 18-0621.09 & 16-0322.26.

1. Headwall – Provide Drexel Metals reglet flashing over headwall flashing per manufacturer's Headwall Detail. 2. Slope Transitions – Provide Drexel Metals flashing per manufacture's Transition Detail. 3. Rakewall – Provide Drexel Metals counter flashing over rakewall flashing per manufacturer's

Rakewall Detail.

1. GAF Everguard TPO 50 mil membrane. Miami-Dade product approval number 15-0729.18.

Gutters, Downspouts & Collector Box

1. Gutters: 5", 24 gauge roll form seamless galvanized steel gutters with 0.040 Kynar finish, color to match roofing. Provide end caps, mitered corners and wired strainers. 2. Downspouts: 3"x4" 26 gauge galvanized steel downspout mounted with straps. Provide rectangular to round adaptor connection to stormwater piping at grade. Color to match exterior

3. Collector Box: 10"W x 6"D x 8"H 24 gauge roll form galvanized steel gutters with 0.040 Kynar finish, color to match stucco band.

1. Galvanized steel 29 gauge 1-1/4" drip edge.

1. Pitch pans: Install galvanized pitch pans at all roof penetrations in

low sloped roofing. 2. Plumbing vent flashing: Install new lead flashing at all existing plumbing vents.

Roof: Minimum R-30 insulation in attic spaces. Walls: Minimum R-4.2 insulation.

1. 6 mil polyethylene, ASTM E-96, lapped 12".

Vapor Retarder – Under Slab

**Division 8 Doors and Windows** 

Exterior Doors 1. CGI Commercial, SE3550, clear anodized, clear glass, ADA bumper threshold, standard pull handle/ push bar and overhead concealed closer providing door opening pressure not to exceed

2. See sheet M103, Florida energy Code Compliance for U-Valve and Solar Heat Gain Coefficient

(SHGC). 3. See Door Schedule.

1. CGI Commercial, SS3500, clear anodized, clear glass.

2. See sheet M103, Florida energy Code Compliance for U-Valve and Solar Heat Gain Coefficient 3. See Door Schedule.

Interior Doors

1. See Door Schedule.

**Division 9 Finishes** Portland Cement Stucco

1. Portland cement stucco shall be applied in three step process; scratch coat, brown coat, finish

2. Stucco thickness:

a. Applied to concrete block shall be 5/8" b. Applied to framing or lath shall be 3/4"

c. Stucco finish shall be smooth.

3. Accessories: Amico vinyl corner beads shall be installed at all corners and drip screed with reveal shall be installed at the Drop Off and Concrete Overhang.

1. USG, Sheetrock Gypsum Board or equal installed per manufacturer's written instructions.

Cement Board

1. 1/2" Wonderboard or equal. 2. Fastened with Superior Bilt Concrete Backerboard Screws, or equal. 3. Joints taped with 2" wide alkali-resistant fiberglass joint tape and bonded with latex or acrylic-

b. Exterior: 1 coat of tinted primer and 2 coats of paint.

modified mortar. 4. Install at cement board backer at wall & floor tile on plywood substrate.

Interior & Exterior Paint

1. Sherwin Williams or equal, color shall be selected by Owner. Contractor shall apply 3'x'3 sample to the interior and exterior for each color selected for the Owner's approval. a. Interior Walls & Ceiling: 1 coat of tinted primer and 2 coats paint.

Wood Trim

1. Baseboard - See Finish Schedule. 2. Casing - See Finish Schedule. 3. Chair Rail - See Finish Schedule.

Window Sills 1. Cesarstone, 2cm thickness, continuous piece with 3/4" overhang and 1/8" beveled edge, color:

Eggshell 3141

Countertops

1. Cesarstone, 3cm thickness, continuous piece with 3/4" overhang and 1/8" beveled edge, color: Eggshell 3141

1. Cesarstone, 2cm thickness, continuous piece and full height, color: Eggshell 3141

Concrete and stucco water proofing. 1. Install onecoat of LOXON 40% Silane Water Repellant LX31T840 per the manufacturer's written instructions.

**Division 11 Equipment** 

**Division 10 Specialties** 

**Division 12 Furnishings** 

**Division 13 Special Construction** 

1. Kone EcoSpace machine roomless elevator, 2,000 lbs. capacity, 150 FPM, Control in remote closet, Power 208v/ 60 Hz.

**Division 14 Conveying Systems** 

See Mechanical drawings and notes.

Division 15 Mechanical

**Division 15 Plumbing** Plumbing Fixtures

1. See Plumbing drawings and Plumbing Fixture Schedule. 2. Floor Drains: Zurn FD-1 4" Round Top with PVC body ½" trap primer connection.

**Division 16 Electrical** See Electrical Drawings.



# NHUMC MISSION BUILDING

# PROJECT TEAM

# <u>ARCHITECT</u>

EMAIL:

EMAIL:

SQUARE ONE ARCHITECTURE

CONTACT: JOHN N. GARRA ADDRESS: 5450 GRIFFIN RD - SUITE A -DAVIE, FL 33314 PHONE: (954) 861-0852

JOHN@SQ-1.NET

# LANDSCAPE ARCHITECT

MLA GROUP INC.

CONTACT: SCOTT MCCLURE ADDRESS: 1016 NE 45TH STREET OAKLAND PARK, FL 33334 PHONE: (954) 763-4071

E-MLAGROUPINC@YAHOO.COM

# STRUCTURAL ENGINEER

SPECIALTY ENGINEERING CONSULTANTS, INC.

CONTACT: ADAM LE BLANC PHONE: (561) 752-5440 EMAIL: adam@specsf.com

# **CIVIL & SURVEYOR**

PILLAR CONSULTANTS INC

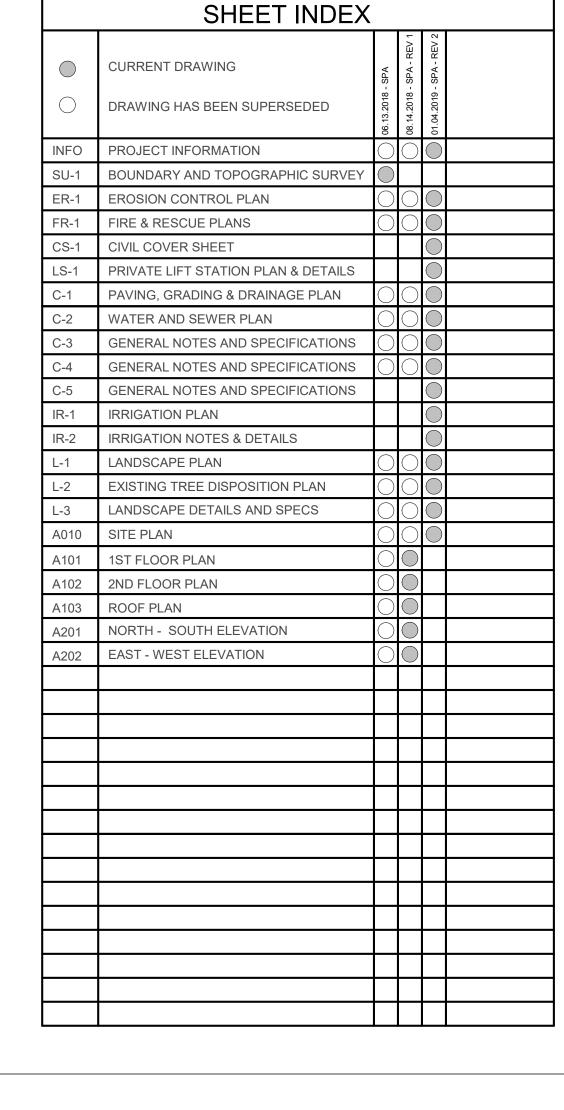
CONTACT: JASON WILSON ADDRESS: 5230 S UNIVERSITY DR, SUITE 104 DAVIE, FL 33328

(954) 680-6533

PHONE:

<u>CLIENT</u>

NEW HORIZON METHODIST CHURCH



**LOCATION MAP** 

SQUARE ONE ARCHITECTURE

5230 S. University Dr Davie, FL 33328 AA26001846 :::: 954-861-0852 :::: www.sq-1.net

United Methocssion Building Southwest Ra

Description Date 06/13/18 Site Plan Approval 08/14/18 10/18/18 SPA Rev 2

John Norman Garra Florida Architect AR92545

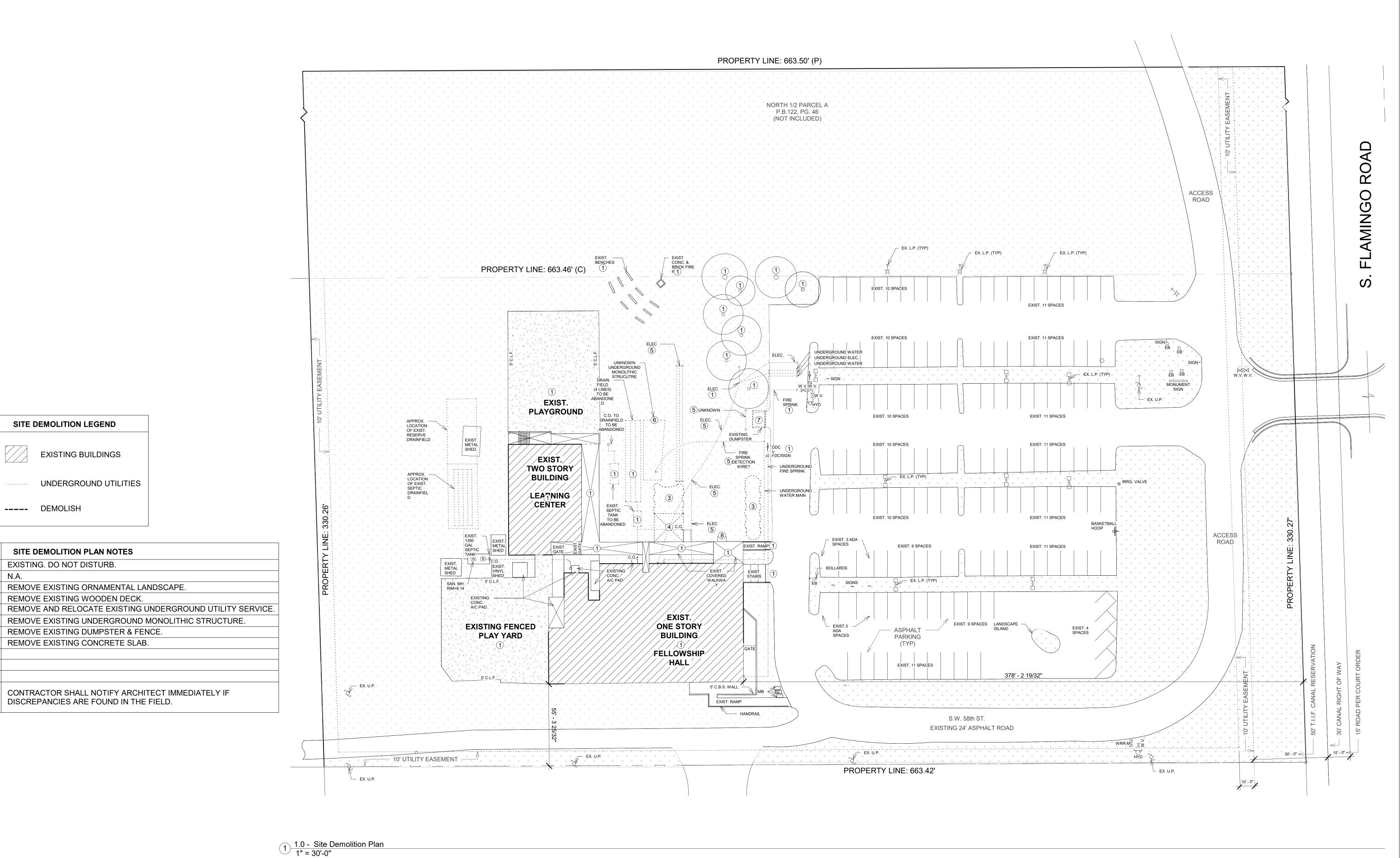
**Project Information** 

Drawn by

1/4" = 1'-0"

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11/30/2018



SITE DEMOLITION LEGEND

---- DEMOLISH

2. N.A.

EXISTING BUILDINGS

SITE DEMOLITION PLAN NOTES

REMOVE EXISTING WOODEN DECK.

REMOVE EXISTING DUMPSTER & FENCE.

REMOVE EXISTING CONCRETE SLAB.

EXISTING. DO NOT DISTURB.

UNDERGROUND UTILITIES

REMOVE EXISTING ORNAMENTAL LANDSCAPE.

REMOVE EXISTING UNDERGROUND MONOLITHIC STRUCTURE.

CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND IN THE FIELD.

33330 New Horizon United Methodist Church Mission Building Flamingo Rd, Southwest Ranches, FL

SQUARE ONE ARCHITECTURE

5230 S. University Dr - Suite 106D -Davie, FL 33328 AA26001846 ::::: 954-861-0852 :::::

www.sq-1.net

Description Site Plan Approval 06/13/18

> John Norman Garra Florida Architect AR92545

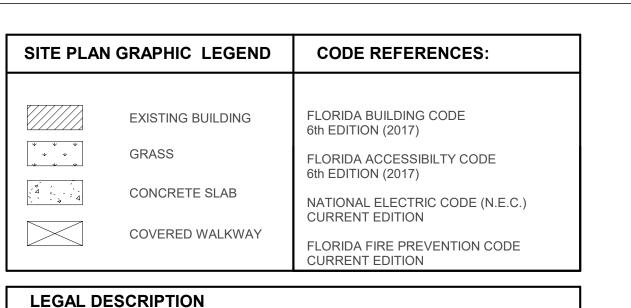
Site Demolition Plan

11/30/2018

As indicated

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Drawn by



SOUTH ONE HALF (1/2), NEW HORIZON UNITED METHODIST CHURCH, ACCORDING THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 122, PAGE 4, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING, AND BEING IN THE CITY OF SOUTH WEST RANCHES, BROWARD COUNTY, FLORIDA

CLASSIFICATION OF WORK: MISSION BUILDING REPLACEMENT 1ST FLOOR: 3,490 SQ. FT. (CONDITIONED SPACE). 512 SQ. FT. N. COVERED ENTRY (NON CONDITIONED SPACE). 422 SQ. FT. S. COVERED ENTRY (NON CONDITIONED SPACE). 2ND FLOOR: 1,218 SQ. FT. (CONDITIONED SPACE). 70 SQ. FT. (NON CONDITIONED SPACE). **TOTAL PROPOSED:** 4,708 SQ. FT. (CONDITIONED SPACE). 1,004 SQ. FT. (NON CONDITIONED SPACE).

# **ZONING DATA: F.A.R.** F.B.C. OCCUPANCY TYPE : CF-Community Facility District

LOT AREA:

**BUILDING HEIGHT:** 35 ft max. 26' 8" Provided PLOT COVERAGE: 35% max. 8.1 % Provided FLOOR AREA RATIO: 9.8 % Provided 35% max. PERVIOUS AREA: 53.6% Provided 40% min. TOTAL ACREAGE : 219,248 SQ. FT. (5.03 ACRES)

219,248 SQ. FT. (5.03 ACRES)

EXIST. BUILDINGS FOOTPRINT : 13,360 SQ. FT. NEW BUILDING FOOTPRINT : 4,424 SQ. FT. TOTAL LOT COVERAGE : 17,784 SQ. FT. (8.1%) EXIST. BUILDINGS A.C. AREA : 16,870 SQ. FT. NEW BUILDING A.C. AREA 4,708 SQ. FT. TOTAL A.C. AREA

: 21,578 SQ. FT. (9.8%) EXISTING IMPERVIOUS AND PAVED SURFACES: 98,258 SQ. FT. (44.8%)

NEW IMPERVIOUS AND PAVED SURFACES: 3,599 SQ. FT. (1.6%)

TOTAL IMPERVIOUS AND PAVED SURFACES: 101,857 SQ. FT. (46.4%)

Site Plan based on 01/30/2018 survey by Pillar consultant INC, project 17032.

# PARKING INFORMATION:

EXISTING ADA PARKING: 6 SPACES EXISTING PARKING: 146 SPACES TOTAL EXISTING PARKING: 152 SPACES

THE NEW MISSION BUILDING SHALL BE USED IN OFFSET HOURS TO THE EXISTING

BUILDINGS ON THE SITE.

**FELLOWSHIP HALL:** SUNDAY 9:00am-10:30pm (125 PEOPLE FOR SERVICE) FELLOWSHIP HALL: SUNDAY 10:30am-12:00pm (70 PEOPLE FOR SERVICE)

# FLOOD ZONE INFORMATION:

NFIP COMMUNITY NUMBER: 12011C0540H MAP/PANEL #: 120691 FLOOD ZONE: AH

NEW FIRST FLOOR ELEVATION: +9.50' NAVD

BASE FLOOD ELEVATION: +5.00' NAVD

SPECIFIC MEASURES THAT WILL BE TAKEN TO PREVENT OR MINIMIZE IMPACTS UPON ADJACENT RESIDENTIAL PLOTS WITHIN

-Residential Plot to: SW

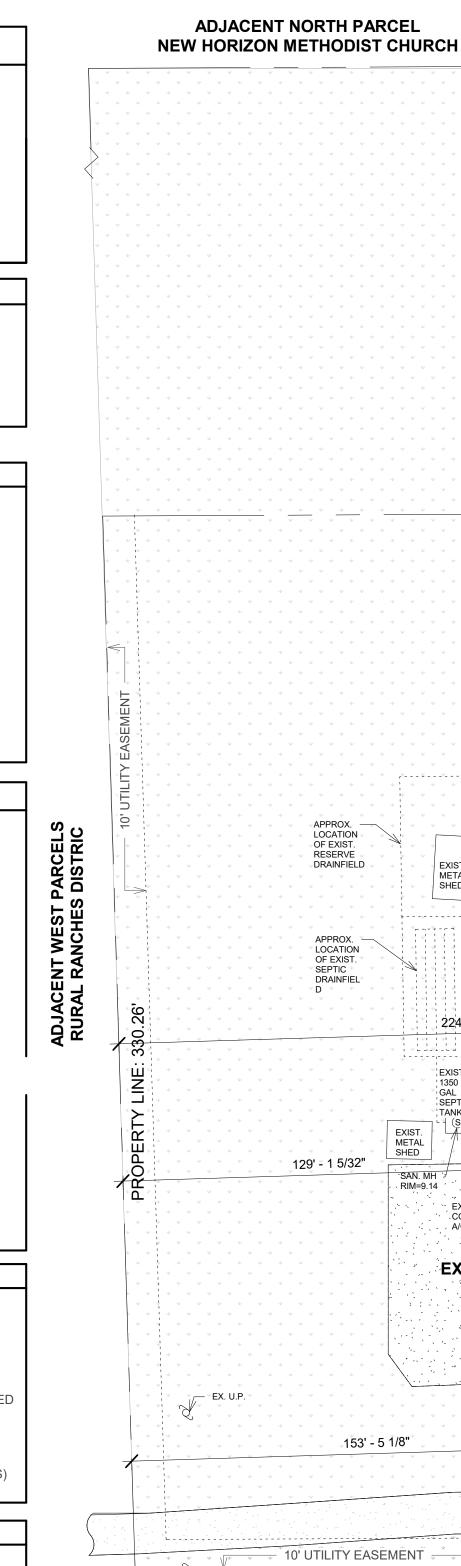
-Residential Plot to: W

Building Setbacks As Per: Code of Ordinances and Unified Land Development Code, Town of Southwest Ranches, FL: (AA) Sec. 120-020.-Site Plan Submission Requirements

300 FEET OF A BOUNDARY OF THE SITE PLAN.

Along Any Street Line 50 ft. min. required 383' - 6" provided 83' - 0" provided 25 ft. min. required Side (north) Side (south) 25 ft. min. required 170' - 11" provided 15 ft. min. required 224' - 11" provided

Sunshine State One Call of Florida Call before you dig 1-800-432-4770 - Call two full business days before digging. Call 10 days before digging when digging under water. - Wait the required time for buried utilities to be located and marked. - Protect the marks during your project. If marks are destroyed, call again. - Dig safely, using extreme caution when digging within 24 inches on either side of the marks to avoid hitting the buried utility lines. - This is a free service to help keep Florida safe!



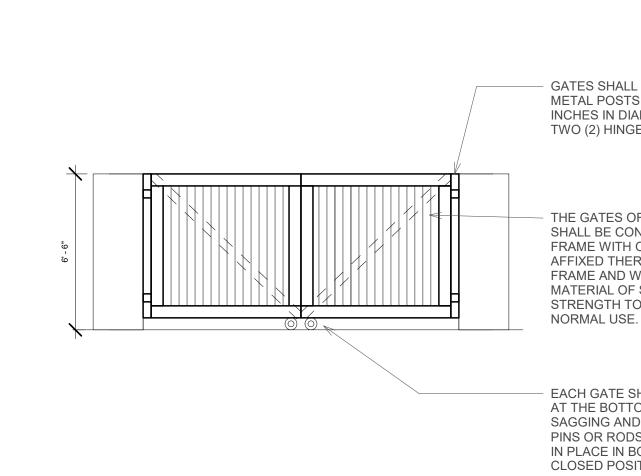
# LEARNING CENTER: MONDAY- FRIDAY 7:00am-6:00pm (7 STAFF, 80 STUDENTS DROPPED

MISSION BUILDING: MONDAY-FRIDAY 7:00am-6:00pm (7 STAFF,10 VISITORS PER DAY) MISSION BUILDING: MONDAY-FRIDAY 6:00pm-9:00pm (35 PEOPLE MAX. FOR MEETINGS) MISSION BUILDING: SUNDAY 12:00pm-3:00pm (8 STAFF, 40 STUDENTS DROPPED OFF)

| FIXT                    | URE LOAD C          | ALCULATIONS                          |
|-------------------------|---------------------|--------------------------------------|
| ABLE 2902.1, FBC 2017 T | OTAL OCCUPANTS: 156 |                                      |
| XTURE TYPE              | REQUIRED BY CODE    | PROVIDED                             |
| IALE WATER CLOSET       | 1 PER 150           | 78 OCCUPANTS/150 = 2 MALE W.C.       |
| EMALE WATER CLOSET      | 1 PER 75            | 78 OCCUPANTS/75 = 2 FEMALE W.C.      |
| ALE LAVATORY            | 1 PER 200           | 78 OCCUPANTS/200 = 2 MALE LAVATORY   |
| EMALE LAVATORY          | 1 PER 200           | 78 OCCUPANTS/200 = 2 FEMALE LAVATORY |
| RIKING FOUNTAIN         | 1 PER 1000          | 2                                    |
|                         |                     |                                      |

1.0 - Site Plan 1" = 30'-0"

| OCCL  | IPANT                 | LOAD CALCUI          | LATIONS             |
|---|-----------------------|----------------------|---------------------|
| TABLE 1004.1.2, FBC 2017                              |                       |                      |                     |
| FUNCTION OF SPACE                                     | AREA                  | OCCUPANT LOAD FACTOR | NUMBER OF OCCUPANTS |
| STANDING SPACE<br>UNCONCENTRATED (TABLES<br>& CHAIRS) | 2,032 S.F.<br>(NET)   | 15 NET               | 135                 |
| BUSINESS  | 1,848 S.F.<br>_GROSS_ | 100 GROSS            | 18                  |
| STORAGE AREAS<br>& EQUIPMENT<br>-ROOMS                | 604 S.F.<br>GROSS     | 200 GROSS            | 3                   |
| No since  |                       | TOTAL                | 156 OCCUPANTS       |
| TOTAL AREA: +/- 4,708 SF (G                           | ROSS SQL              | JARE FOOTAGE)        |                     |



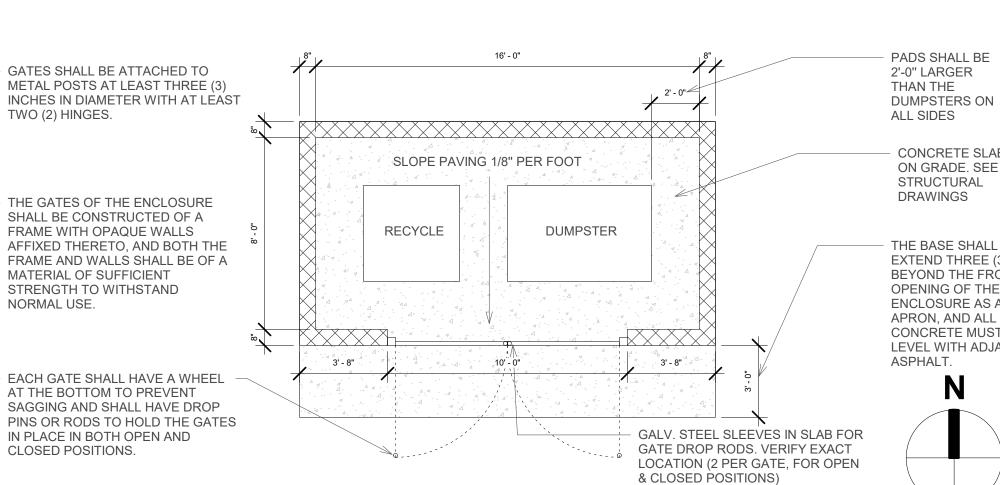
∖ Dumpster Detail

1/4" = 1'-0"

PROPERTY LINE: 663.42'

**ADJACENT SOUTH PARCEL** 

POTENTIAL CHURCH



STRUCTURAL DRAWINGS John Norman Garra THE BASE SHALL Florida Architect AR92545 EXTEND THREE (3) FEET BEYOND THE FRONT OPENING OF THE Site Plan **ENCLOSURE AS AN** APRON, AND ALL CONCRETE MUST BE LEVEL WITH ADJACENT ASPHALT.

**CONCRETE SLAB** 

ON GRADE. SEE

11/30/2018 Drawn by

SQUARE ONE

**ARCHITECTURE** 

5230 S. University Dr - Suite 106D -Davie, FL 33328

AA26001846

www.sq-1.net

3

S

anche

Flamingo

Description

Site Plan Approval

SPA Rev 1

SPA Rev 2

Date

06/13/18

08/14/18

10/18/18

United Methodist (lission Building d, Southwest Ranch

Church

Horiz

::::: 954-861-0852

As indicated

FLOOR CEILING ASSEMBLIES: ROOF CEILING ASSEMBLIES: INTERIOR NON BEARING WALLS: EXTERIOR NON BEARING WALLS: FFPC & NFPA OCCUPANCY: ASSEMBLY (LESS THAN 300 OCCUPANTS) \*AS PER NFPA 1 - 6.1.2 DOORS SHALL COMPLY THE GEN. REQUIREMENTS \*AS PER NFPA 1 INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASS A, CLASS

NORTH 1/2 PARCEL A \* P.B.122, PG. 46\* (NOT INCLUDED) ACCESS ROAD PROPOSED PRIVATE LIFT STATION LOCATION RIM EL. 6.50 – <sup>√</sup>EX. L.P. (TYP) EX. L.P. (TYP) EX. L.P. (TYP) MIN. SEE CIVIL & MEP DRAWINGS. CONC. &
BRICK FIRE PROPERTY LINE: 663.46' (C) NEW GRD. ELEV. (6.83' NAVD) - EXIST. GRD. ELEV. (6.75' NAVD) EXISTING ASPHALT ROAD TRUCK ACCESS EXISTING GUARD RAIL  $\mathbb{R}^{N}$ − √EX. L.P. (TYP) EXFILTRATION TRENCH BASED √<del>-</del>SIGN MONUMENT SIGN SEE CIVIL -OO -EXIST. **PLAYGROUND** NEW GRD. ELEV. (6.90' NAVD) EXIST. 10 SPACES EXIST. 11 SPACES APPROX. -LOCATION OF EXIST. RESERVE DRAINFIELD **PROPOSED** EXISTING ASPHALT ROAD SERVES EXIST. FELLOWSHIP **MISSION** EXIST. METAL SHED EXIST. 10 SPACES **BUILDING** DROP FDC/SIGN F.E.E 0'-0" EXIST. + 9.00' NAVD NEW GRD. ELEV. (7.70' NAVD) TWO STORY ROOFLINE APPROX.
LOCATION
OF EXIST.
SEPTIC
DRAINFIEL BUILDING. LEARNING NEW GRD. ELEV. (6.90' NAVD) CENTER COVERED ENTRY 224' - 11 1/4" EXIST, 11 SPACES EXIST, 10 SPACES INV. EL. = 2.50 (W) EXISTING ASPHALT ROAD EXIST. 1350 GAL SEPTIC ACCESS EXIST. 3 ADA ROAD SPACES EXIST. 11 SPACES EX. L.P. (TYP) /WALKWA 5' C.L.F. /EXIST./ EXIST. 9 SPACES LANDSCAPE **EXISTING FENCED** ONE STORY SPACES **PLAY YARD** /BUILDING PARKING EXISTING ASPHALT ROAD EXISTING ASPHALT ROAD (TYP) **FELLOWSHIP** HALL EXIST. 11 SPACES 5' C.B.S. WALL EXIST. RAMP 153' - 5 1/8" ---- HANDRAIL S.W. 58th ST. **EXISTING 24' ASPHALT ROAD** 50' - 0" EX. U.P. 10' UTILITY EASEMENT DRIVEWAY

PROPERTY LINE: 663.50' (P)

| SCOPE OF WORK: NEW 2-STORY STRUCTURE TO ACCOMMODATE NEW MISSION BUILDING. |                                   |  |  |  |
|---|-----------------------------------|--|--|--|
| TOTAL AREA OF BUILDING: 4,708 S.F. (CONDI-<br>1,004 S.F. (UNCO            | TIONED SPACE)<br>NDITIONED SPACE) |  |  |  |
| FIRE RESISTANCE RATI  | NG                                |  |  |  |
| NFPA220 CONSTRUCTION TYPE   | TYPE: V(111)                      |  |  |  |
| EXTERIOR BEARING WALLS:   | 1                                 |  |  |  |
| INTERIOR BEARING WALLS:   | 1                                 |  |  |  |
| COLUMNS:  | 1                                 |  |  |  |
|   | 1                                 |  |  |  |
| -FLOOR CEILING ASSEMBLIES:  | 1                                 |  |  |  |
| ROOF CEILING ASSEMBLIES:  | 1                                 |  |  |  |
|   | 0                                 |  |  |  |
| INTERIOR NON BEARING WALLS:   | 0 <sup>b</sup>                    |  |  |  |
| EXTERIOR NON BEARING WALLS:   |                                   |  |  |  |
| FFPC & NFPA OCCUPANCY:<br>ASSEMBLY (LESS THAN 300 OCCUPANTS) *AS          | PER NFPA 1 - 6.1.2                |  |  |  |
| DOORS SHALL COMPLY THE GEN. REQUIREM                                      | ENTS *AS PER NFPA 1 - 20.3.2      |  |  |  |

CORRIDORS AND LOBBIES FINISH MATERIALS SHALL BE CLASS A OR CLASS B \*AS PER NFPA 1 - 20.3.3.2

NTERIOR FLOORING FINISH MATERIALS SHALL COMPLY WITH \*NFPA 1 -

BUILDING INFORMATION

FBC USE AND OCCUPANCY CLASSIFICATION: GROUP A-3 (PLACES OF

FBC CONSTRUCTION TYPE: V-A

SECOND ADJACENT PARCEL TO THE NORTH

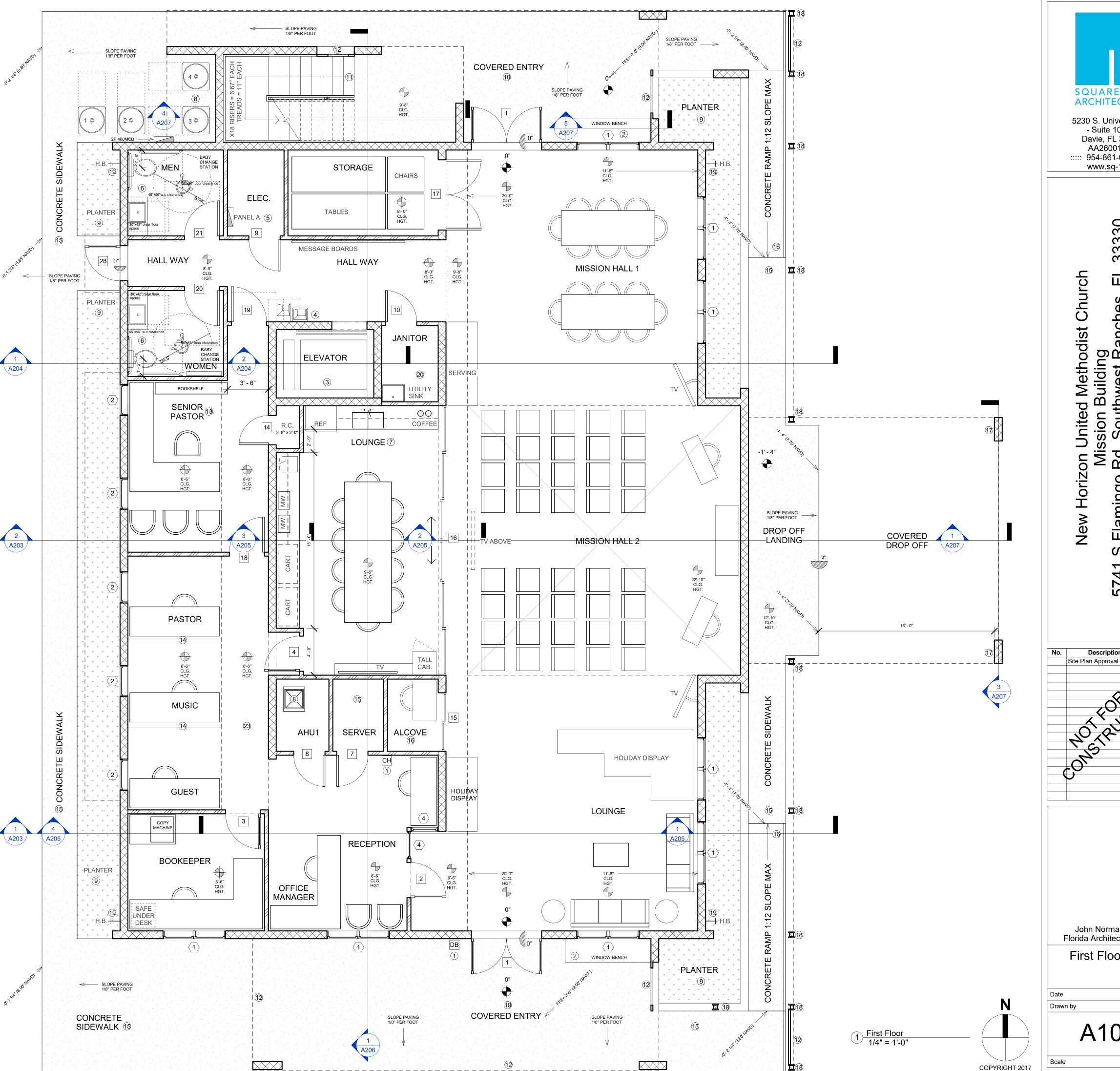
ST. MARK CATHOLIC CHURCH

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| #  | SIZE: WxH  | HARWARE  | FIN  | DESCRIPTION / (REMARKS)   |
|----|--|--|--|---|
|    | 6'-0" x 7'-0"  | N/A  | TBD  | EXTERIOR DOUBLE DOOR  |
| 2  | 3'-0" x 6'-8"  | KEYED  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR,<br>TRANSLUCENT GLASS SMOOTH PRIMED  |
| 3  | 3'-0" x 6'-8"  | KEYED  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, TRANSLUCENT GLASS SMOOTH PRIMED   |
| 4  | 3'-0" x 6'-8"  | KEYED  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, TRANSLUCENT GLASS SMOOTH PRIMED   |
| 5  | 3'-0" x 6'-8"  | PASSAGE  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR,<br>TRANSLUCENT GLASS SMOOTH PRIMED  |
| 6  | 3'-0" x 6'-8"  | KEYED  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, TRANSLUCENT GLASS SMOOTH PRIMED   |
| 7  | 2'- 8" x 6'-8"   | PASSAGE  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR,<br>SMOOTH PRIMED  |
| 3  | 2'- 8" x 6'-8"   | PASSAGE  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR,<br>SMOOTH PRIMED  |
| 9  | 2'- 8" x 6'-8"   | PASSAGE  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR,<br>SMOOTH PRIMED  |
| 10 | 2'- 8" x 6'-8"   | KEYED  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR,<br>SMOOTH PRIMED  |
| 11 | 2'- 8" x 6'-8"   | EMER. EXIT   | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED. SELF CLOSING SELF LOCKING DOOOR REQUIRED   |
| 12 | 2'- 8" x 6'-8"   | PASSAGE  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED   |
| 13 | 2'- 8" x 6'-8"   | PASSAGE  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR,<br>SMOOTH PRIMED  |
| 4  | 2'-6" x 6'-8"  | HALF<br>DUMMY  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR,<br>SMOOTH PRIMED  |
| 5  | 5'-0" x 6'-8"  | N/A  | SATIN<br>ALUMINUM  | APA DOORS, INTERIOR (2) PANELS GLASS SLIDING<br>DOOR. 1 3/4" ALUMINUM FRAME. CLEAR LAMINATED 14"<br>GLASS. TOP MOUNTED TRACK AND COVER.   |
| 6  | 23'-0" x 6'-8"   | N/A  | SATIN<br>ALUMINUM  | APA DOORS, INTERIOR (6) PANELS GLASS SLIDING DOOR. NORTH AND SOUTH PANELS ARE FIXED.  1 3/4" ALUMINUM FRAME. CLEAR LAMINATED 14" GLASS. TOP MOUNTED MECHANICAL TELESCOPIC SYSTEM. |
| 7  | 6'-0" x 6'-8"  | PASSAGE  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOUBLE DOOR, SMOOTH PRIMED  |
| 18 | 3'-0" x 6'-8"  | KEYED  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR,<br>SMOOTH PRIMED  |
| 9  | 3'-0" x 6'-8"  | KEYED  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR,<br>SMOOTH PRIMED  |
| 20 | 3'-0" x 6'-8"  | PRIVACY  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR,<br>SMOOTH PRIMED  |
| 21 | 3'-0" x 6'-8"  | PRIVACY  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED   |
| 22 | 3'-0" x 6'-8"  | PRIVACY  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR,<br>SMOOTH PRIMED  |
| 23 | 2'-0" x 6'-8"  | HALF<br>DUMMY  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR,<br>SMOOTH PRIMED  |
| 24 | 5'-0" x 6'-8"  | HALF<br>DUMMY  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOUBLE DOOR, SMOOTH PRIMED  |
| 25 | 3'-0" x 6'-8"  | PASSAGE  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOUBLE DOOR, SMOOTH PRIMED  |
| 26 | 5'-0" x 6'-8"  | HALF<br>DUMMY  | P-3  | JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOUBLE DOOR, SMOOTH PRIMED  |
| 27 | 3'-0" x 7'-0"  | N/A  | TBD  | EXTERIOR SINGLE DOOR  |
| 28 | 3'-0" x 7'-0"  | N/A  | TBD  | EXTERIOR SINGLE DOOR  |
|    | <ul><li>3. All substitutions shate</li><li>4. All doors to exterior</li><li>5. All glazing in hazard</li></ul> | vings for wind pressure c<br>all be approved as equal<br>r shall have weatherstipp | by the Architect.<br>bing, threshold an<br>F.B.C. Chapter: | d screens.<br>24, Section 2406 Safety Glazing including shower enclosures,  |

6. All new exterior doors shall be impact resistant.





5230 S. University Dr - Suite 106D -Davie, FL 33328 AA26001846 :::: 954-861-0852 ::::: www.sq-1.net

United Methodist (ssion Building Southwest Ranch

Description 06/13/18 Site Plan Approval

> John Norman Garra Florida Architect AR92545

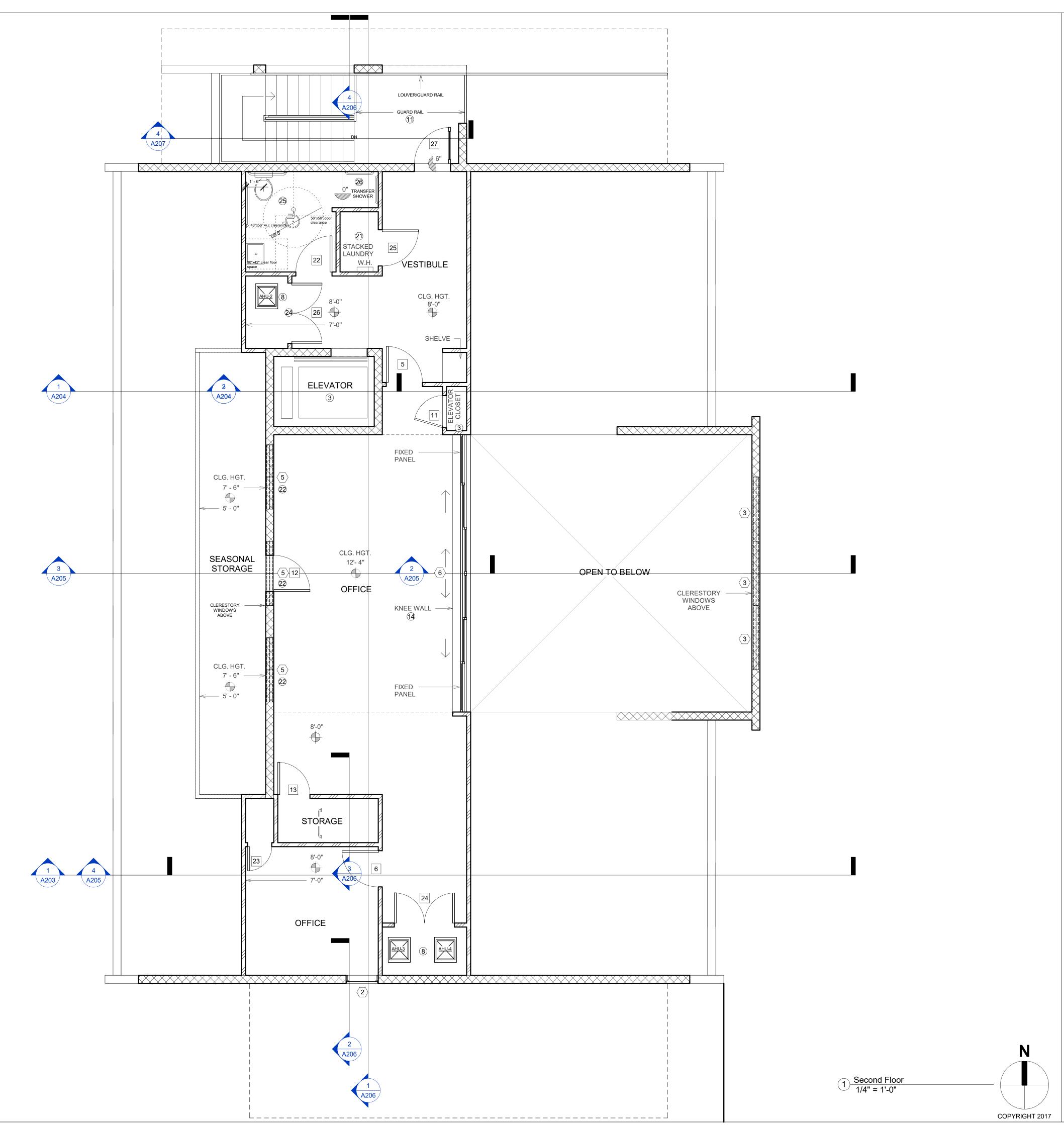
First Floor Plan

11/30/2018

1/4" = 1'-0"

|             | WINDOW SCHEDULE   |   |  |                           |   |  |  |
|-------------|---|---|--|---------------------------|---|--|--|
| <b>(#</b> ) | SIZE: W x H   | MATERIAL  | SHGC / U   | FINISH                    | DESCRIPTION   |  |  |
| 1 2         | 5'-4" x 5'-0"<br>2'-8" x 5-0"   | ALUMINUM<br>ALUMINUM  | 0.5 / 0.9  | ALUMINUM<br>ALUMINUM      | DOUBLE FIXED ALUMINUM WINDOWS SINGLE FIXED ALUMINUM WINDOW  |  |  |
| 3           | 5'-4" x 6'-0"   | ALUMINUM  | 0.5 / 0.9  | ALUMINUM                  | SINGLE FIXED ALUMINUM CLERESTORY WINDOW   |  |  |
| 4           | 2'-4" x 6-8"  | ALUMINUM  | N/A  | ALUMINUM                  | SINGLE FIXED ALUMINUM WINDOW  |  |  |
| 5           | 5'-4" x 2-8"  | ALUMINUM  | 0.5 / 0.9  | ALUMINUM                  | DOUBLE FIXED ALUMINUM CLERESTORY WINDOW   |  |  |
| 6           | 23'-0" x 6-0"   | ALUMINUM  | N/A  | ALUMINUM                  | INTERIOR (6) PANELS GLASS SLIDING WINDOW. NORTH AND SOUTH PANELS ARE FIXED. 1 3/4" ALUMINUM FRAME. CLEAR LAMINATED 14" GLASS. TOP MOUNTED MECHANICAL TELESCOPIC SYSTEM. |  |  |
|             |   |   |  |                           |   |  |  |
|             |   |   |  |                           |   |  |  |
|             |   |   |  |                           |   |  |  |
| NOTES       | enclosures, w<br>shall comply v<br>2. All new win<br>3. Contractor<br>4. All operable | vindows, etc,<br>with the requirement<br>dows shall be impushall verify all win<br>windows shall ha | ents of the sect<br>pact resistant.<br>dow sizes and<br>ave screens. | ion.<br>jamb thickness pr | 4, Section 2406 Safety Glazing including shower for to ordering. s of F.B.C. per section R310.  |  |  |

|       | HARDWARE SCHEDULE   |  |  |   |  |  |  |  |
|-------|---------------------|--|--|---|--|--|--|--|
| #     | DESCRIPTION         | LEVER/LOCKSET  | HINGES   | STOP  |  |  |  |  |
|       |                     |  |  |   |  |  |  |  |
| HW-1  | PASSAGE             | BALDWIN SQUARE RESERVE LEVER -<br>PS.SQU.CSR.260           | (3) HAGER 1279 4.5"X4.5" US26, BRIGHT CHROME                         | QUALITY, ROCKWOOD 443, .26D SATIN<br>CHROME |  |  |  |  |
| HW-2  | PRIVACY             | BALDWIN SQUARE RESERVE LEVER -<br>PS.SQU.CSR.260           | (3) HAGER 1279 4.5"X4.5" US26, BRIGHT<br>CHROME                      | QUALITY, ROCKWOOD 443, .26D SATIN<br>CHROME |  |  |  |  |
| HW-3  | OFFICE (KEYED)      | BALDWIN SQUARE RESERVE LEVER -<br>PS.SQU.CSR.260           | (3) HAGER 1279 4.5"X4.5" US26, BRIGHT<br>CHROME                      | QUALITY, ROCKWOOD 443, .26D SATIN<br>CHROME |  |  |  |  |
| HW-4  | CLOSET (FULL DUMMY) | BALDWIN SQUARE RESERVE LEVER -<br>PS.SQU.CSR.260           | (3) HAGER 1279 4.5"X4.5" US26, BRIGHT<br>CHROME                      | QUALITY, ROCKWOOD 443, .26D SATIN<br>CHROME |  |  |  |  |
| HW-5  | CLOSET (HALF DUMMY) | BALDWIN SQUARE RESERVE LEVER -<br>PS.SQU.CSR.260           | (3) HAGER 1279 4.5"X4.5" US26, BRIGHT<br>CHROME                      | QUALITY, ROCKWOOD 443, .26D SATIN<br>CHROME |  |  |  |  |
| HW-6  | EMERGENCY EXIT      | BALDWIN TUBULAR KEYED ENTRY<br>MODERN KNOB – 5215.260.ENTR | (1) HAGER 1257 4.5"X4.5" AND (2) HAGER<br>BB1279 US26, BRIGHT CHROME | QUALITY, ROCKWOOD 443, .26D SATIN<br>CHROME |  |  |  |  |
| NOTES |                     |  |  |   |  |  |  |  |





5230 S. University Dr - Suite 106D -Davie, FL 33328 AA26001846 ::::: 954-861-0852 ::::: www.sq-1.net

New Horizon United Methodist Church Mission Building Flamingo Rd, Southwest Ranches, FL 3333

No. Description Date
Site Plan Approval 06/13/18

John Norman Garra Florida Architect AR92545

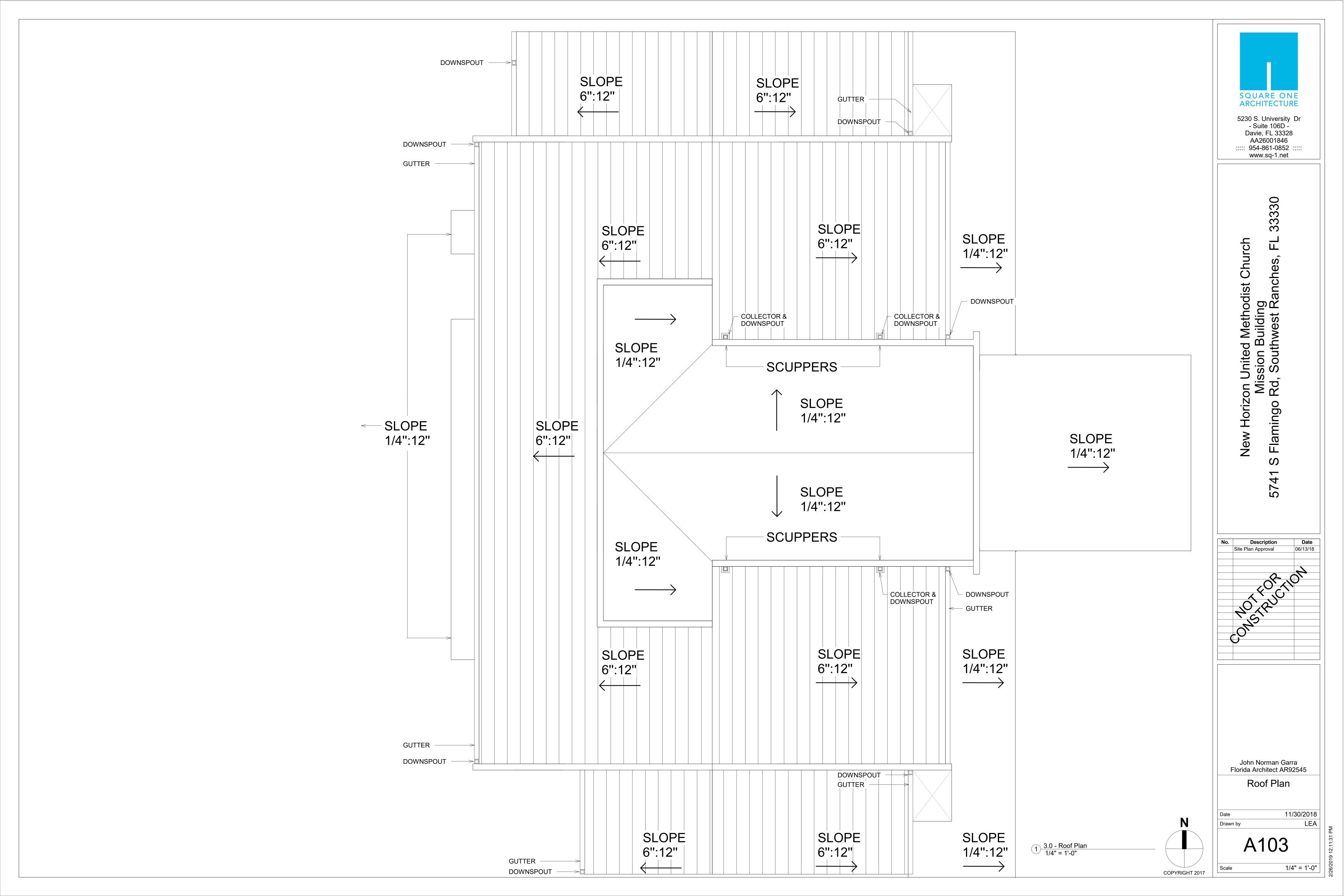
Second Floor Plan

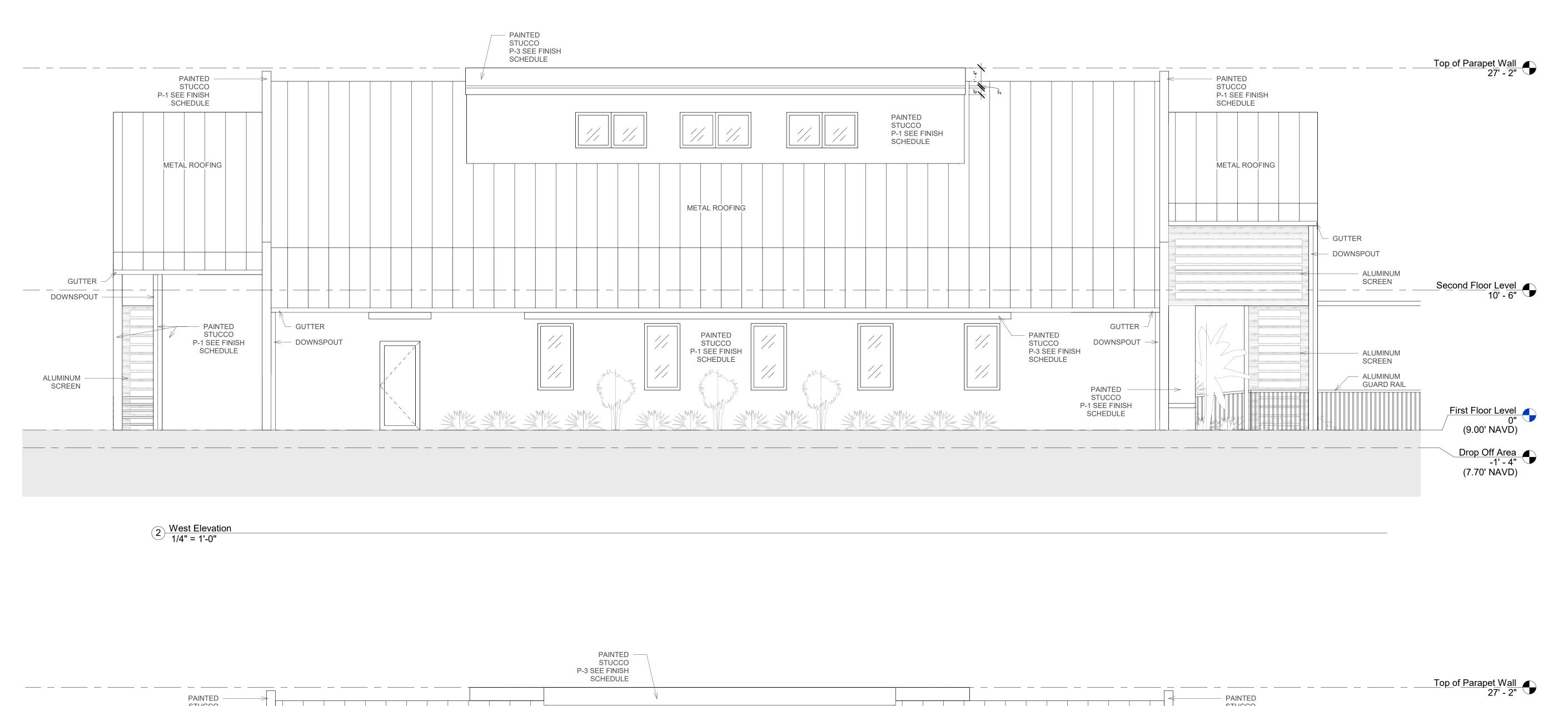
Date 11/30/2018

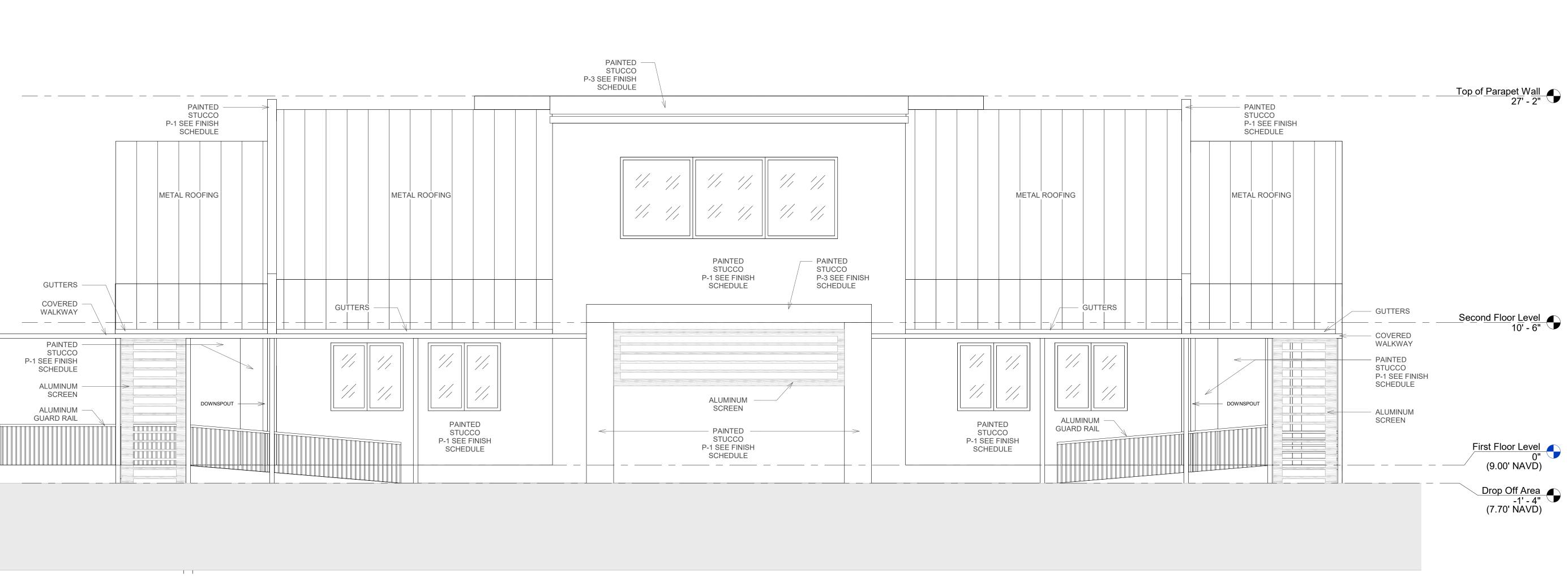
Drawn by J.G.

A102

1/4" = 1'-0"







1 East Elevation 1/4" = 1'-0"



www.sq-1.net

New Horizon United Methodist Church Mission Building 741 S Flamingo Rd, Southwest Ranches, FL 33330

| No. | Description        | Date        |
|-----|--------------------|-------------|
|     | Site Plan Approval | 06/13/18    |
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|     | R                  | <i>'</i> 0' |
|     | X (C)              |             |
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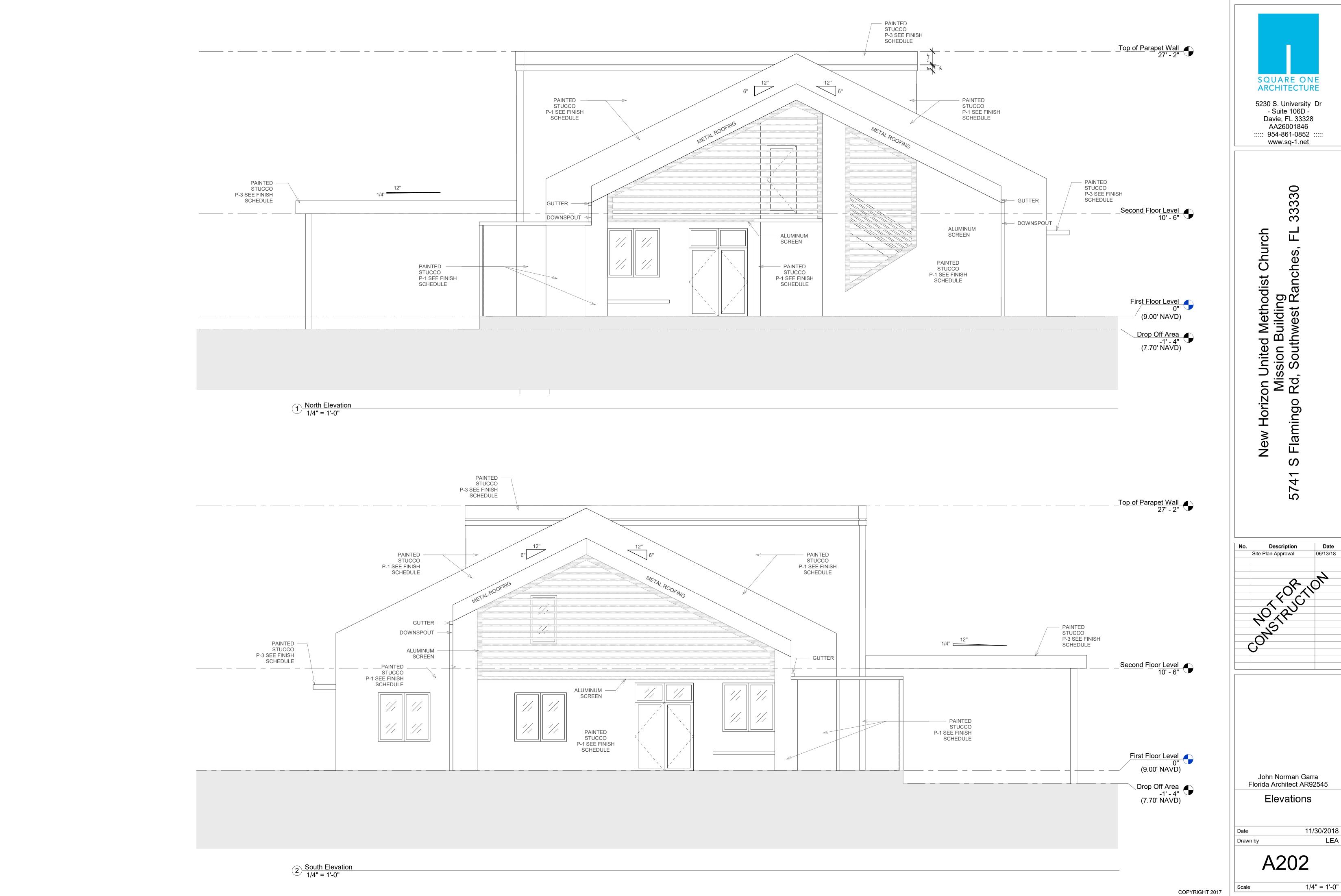
John Norman Garra Florida Architect AR92545 **Elevations** 

Date 11/30/2018

A201

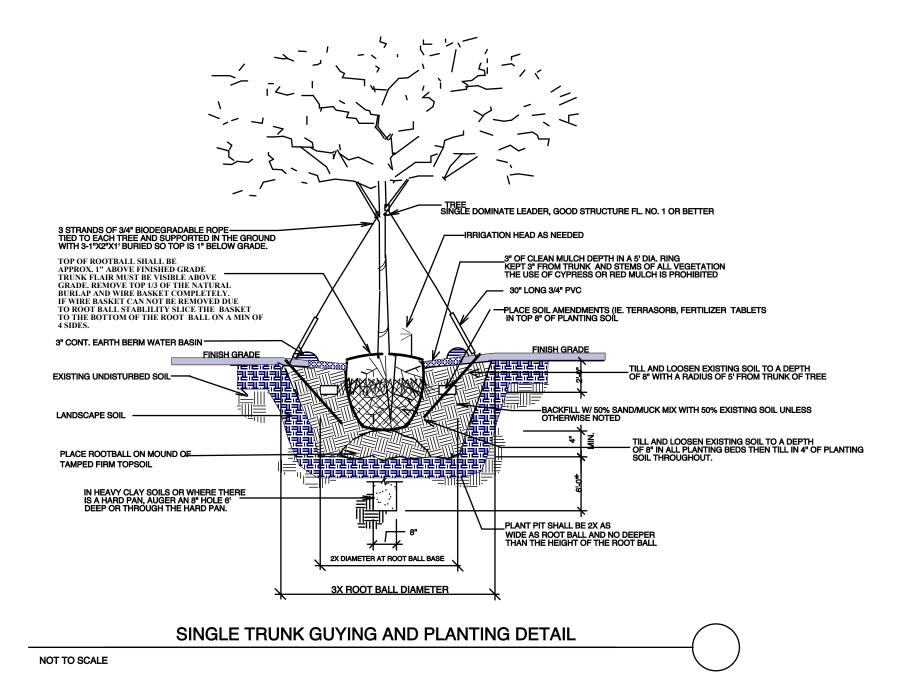
1/4" = 1'-0"

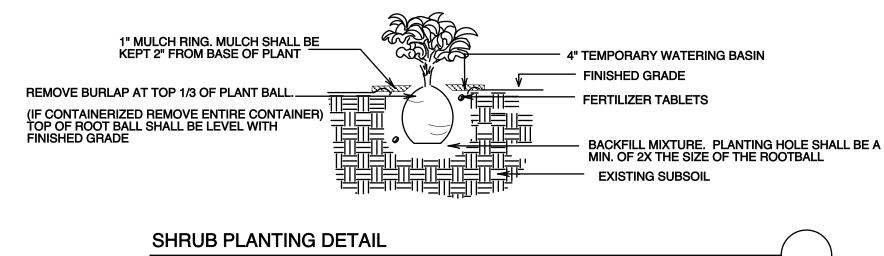
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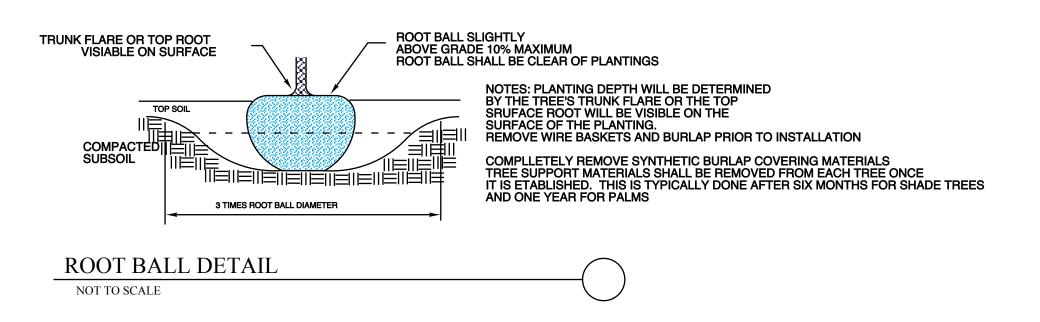
Date 06/13/18

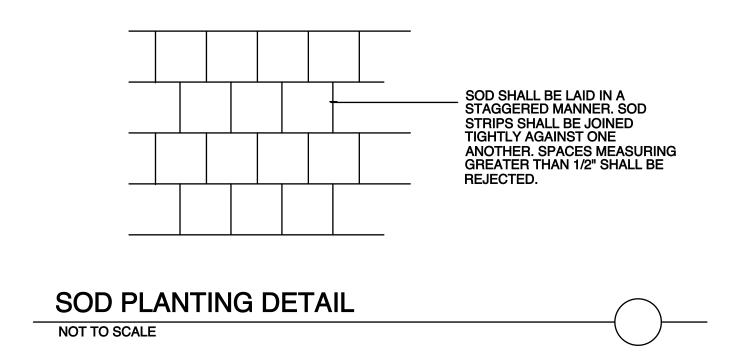
Florida Architect AR92545





# BACKFILL MIXTURE. PLANTING HOLE SHALL BE A





# MASTER PLANT LIST

| KEY        | PLANT NAME  | SPECIFICATION   | QUANTITY |
|------------|---|---|----------|
| AGV7       | AGAVE SPP.<br>FALSE AGAVE                                     | 7 GAL SPECIMEN HIGH DROUGHT TOLERANCE                                 |          |
| CIR        | CHRYSOBALANUS ICACO<br>COCOPLUM HEDGE<br>MYRCIANTHES FRAGRANS | 24"X 24" 24" O.C.<br>NATIVE<br>HIGH DROUGHT TOLERANCE                 | 157      |
| MF3        | SIMPSON STOPPER   |   | 274      |
| DV1        | DIETES IRIDIOIDES<br>AFRICAN IRIS                             | 12" FULL TO POT 15" O.C. HIGH DROUGHT TOLERANCE                       | 35       |
| EFP2       | CHAMAEROPS HUMILIS<br>EUROPEAN FAN PALM                       | 6' OA. DBL. TRUNK<br>HIGH DROUGHT TOLERANCE                           | 2        |
| EUG        | EUGENIA COMPACTA<br>COLUMNAR SHAPE                            | 4' OA. HT. MATCHED<br>GAL. SIZE DETERMINED<br>BY HT. SPECIFIED        | 2        |
| FM3        | FICUS MICROCARPA<br>GREEN ISLAND FICUS                        | 12" X 15" 18" OC. HIGH DROUGHT TOLERANCE                              |          |
| HP7        | HEMEILIA PATENS<br>FIRE BUSH                                  | 36"X 24" 24" OC<br>NATIVE<br>HIGH DROUGHT TOLERANCE                   | 18       |
| LIRV       | LIRIOPE MUSCARI<br>VARIEGATED LIROPE<br>AZTEC GOLD            | FULL 12" MIN. 7 BIBS/POT MIN.,<br>12" O.C.<br>HIGH DROUGHT TOLERANCE  | 50       |
| MUC3       | MUHLENBERGIA CAPILLARIS<br>MUHLY GRASS                        | LARIS  24" X 12" 15" O.C.  NATIVE  HIGH DROUGHT TOLERANCE             |          |
| PEN        | PENTAS LANCEOLATA DWF.<br>RED                                 | FULL 6" X 6" 12" O.C.   |          |
| SOD        | ST. AUGUSTINE FLORITAM<br>ADD AND REPLACE AS NEEDED           | CONTRACTOR TO VERIFY QTY<br>FOR AREAS MISSING OR IN POOR<br>CONDITION |          |
| <u>SR7</u> | SERENOA REPENS<br>SAW PALMETTO                                | 24 "X 24" 30" O.C.<br>NATIVE<br>HIGH DROUGHT TOLERANCE                | 11       |

# MASTER PLANT LIST

| KEY         | PLANT NAME                                | SPECIFICATION  | QUANTITY |
|-------------|---|--|----------|
| <u>IC14</u> | ILEX CASSINE<br>DAHOON HOLLY              | 14'-16' X 6' SPR. 3" CAL. 4.5' CT.<br>MINMIX FEMALE/MALE<br>NATIVE<br>HIGH DROUGHT TOLERANCE | 1        |
| QV14        | QUERCUS VIRGINIANA<br>SOUTHERN LIVE OAK   | 14'-16' X 6' SPR. 3" DBH . 5' C.T.<br>B&B NATIVE<br>HIGH DROUGHT TOLERANCE                   | 5        |
| VM2         | VEITCHIA MONTGOMERYANA<br>MONTGOMERY PALM | 14' OA. DBL. TRUNKS B&B FG.<br>HIGH DROUGHT TOLERANCE  | 2        |

INDICATES MITIGATION TREES

# 36" HIGH SHRUB MATERIAL PLANTED UTILITY STRUCTURE ON 3 SIDES TYPICAL TYPICAL UTILITY SCREENING DETAIL

# LANDSCAPE SPECIFICATIONS

1. CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WIL TAKE PRECEDENCE OVER THE PLANT LIST.

2. EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY. COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK

3. ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS". CURRENT EDITION RESPECTIVELY

4. ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE AND ADHEAR TO ALL MUNICIPAL REQUIREMENTS.

5. ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (I YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL

6. ALL SOD TO BE ST. AUGUSTIN FLORATAM SOLID UNLESS OTHERWISE SPECIFIED. DIFFERENT SOD TYPES SHALL BE SEPARATED BY EDGING, PLANT MATERIAL OR OTHER PHYSICAL BARRIER.

7. ALL BED AREAS TO RECEIVE A 3" LAYER OF ARSENIC FREE EUCALYPTUS MULCH/FLORIMULCH, & SHALL BE A MIN. OF 1'-0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE)

8. ALL TREES MEET THE MINIMUM TRUNK DBH. AS SHOWN ON THE LANDSCAPE SPECIFICATIONS

9. ALL EXISTING LANDSCAPING INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, GROUNDCOVER, SOD. IRRIGATION, GRADING AND CURBING DAMAGED DURING CONSTRUCTION SHALL BE RESTORED/REPLACED PRIOR TO FINAL INSPECTION.

10. LANDSCAPER TO FURNISH ALL MATERIAL AND LABOR INCLUDING, PLANTS MULCH, TOP DRESSING, SOIL PREPARATION DECORATIVE ITEMS (IF SHOWN), INSPECTIONS, TRANSPORTATION, WARRANTY, PEMIT, ETC. NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE

11. ALL PRINCIPALS OF FLORIDA FRIENDLY LANDSCAPING AND DESIGN STANDARDS SHALL BE UTILIZIED. ANY CHANGES TO MATERIALS, SIZES OR SPECIFICATIONS SHALL BE FIRST APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD

12. OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS. 13. LANDSCAPER SHALL HAVE A COMPETENT ENGLISH SPEAKING SUPERINTENDENT PRESENT ON THE JOB

WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.

14 PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES PLANTS SHALL BE SOUND HEALTHY VIGOROUS, FREE FROM PLANT DISEASE, INSECT OR THEIR EGGS, THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN LINLESS OTHERWISE NOTED

15. ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND

16. PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY. ALL TREE PRUNING SHALL BE DONE IN ACCORDANCE WITH CURRENT ANSI- 300 STANDARDS.

17. OWNER RESERVES THE RIGHT TO APPROVE ALL PLANTS MATERIALS, OWNER OR OWNERS AGENT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING.

18 .LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TMES WHILE WORK IS IN PROGRESS.

19.THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS AND UTILITIES. THE

LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS CONTRACTOR TO NOTIFY

LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT 20. METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK. THE LANDSCAPE CONTRACTOR SHALL PROVIDE AN ENGLISH SPEAKING FORMAN ON THE JOB AT

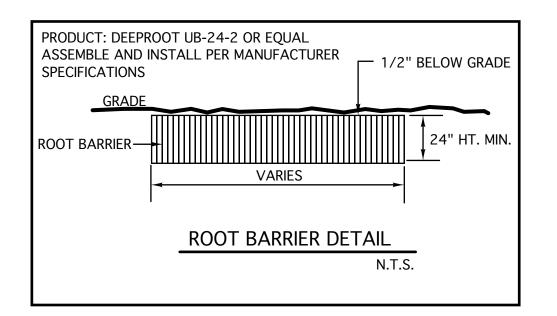
21. PLANT MATERIAL ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASE OF THE LOWESR FROND) GAL (GALLON CAN), 3 GAL (3 GALLON CAN); OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID

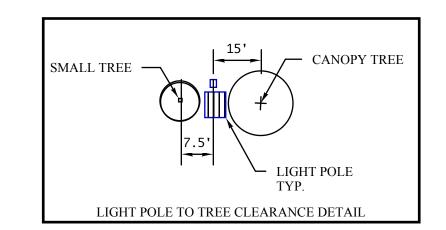
POINT OF CURRENT SEASON'S GROWTH); SPR (INDICATES SPREAD), HVY (INDICATED HEAVY), MIN

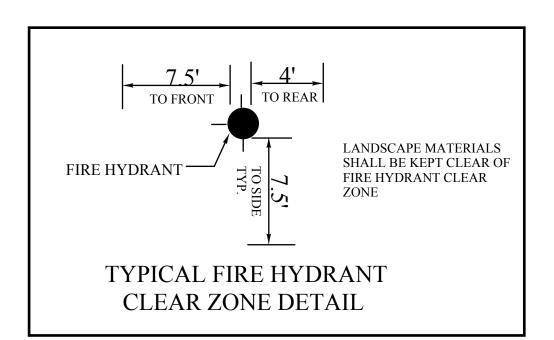
ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED

(INDICATES MINIMUM). 22. SUBSTITUTION: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZE SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT AND THE GOVERNING MUNICIPALITY FOR CONSIDERATION AND APPROVAL. IT IS THE LANDSCAPE CONTRACTORS ORLIGATION TO KNOW WHERE THEY CAN OBTAIN

23. THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER ACTS OF NATURE OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.







24. ALL TREES, PALMS AND OTHER PLANTS SHALL BE PLANTED WITH THE TOP OF THEIR ROOTBALLS 10% ABOVE FINAL GRADE SURROUNDING THE PLANTING AREA. ALL WIRE BASKETS, BURLAP, STRING AND ROPE MUST BE REMOVED. ALL TREE OR PALMS IN LAWN AREAS SHALL RECEIVE A 2 FOOT DIAMETER MULCH RING. MULCH SHALL BE PULLED AWAY FROM THE TRUNKS 3" ALL PLANTING PITS SHALL BE A MIN OF 3X THE ROOTBALL SIZE. ALL TREES AND PALMS SHALL BE BRACED OR GUYED. ALL NYLON STRAPS AND WOOD BRACING SHALL BE REMOVED WITHIN ON YEAR OF FINAL INSPECTION.

25. DELIVERY RECEIPTS FOR TOP SOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REOUEST

26. COMMERCIAL FERTILIZER: COMMERCIAL FERTILIZER SHALL BE AN ORGANIC FERTILIZER CONTAINING NITROGEN, PHOSPHORIC ACID, MINOR TRACE ELEMENTS AND POTASH IN EQUAL PERCENTAGES OF AVAILABLE PLANT FOOD WEIGHT OR "MILORGANITE" NITROGEN SHALL BE NOT LESS THAN 100% FROM ORGANIC SOURCE. FERTILIZER SHALL BE DELIVERED TO THE SITE UNOPENED IN ORIGINAL CONTAINERS. EACH BEARING THE MANUFACTURE'S GUARANTEED ANALYSIS. INITIAL FERTILIZATION OF TREES SHRUBS. GROUND COVERS, SHALL BE WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" IN A CIRCLE AROUND THE PLANT BEFORE MULCHING DO NOT TOUCH THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER AFTER MULCHING. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING

5 LBS OR 14.5 CUPS / PALMS 3 LBS OR 8.70 CUPS /12'-16' MATERIAL

2 LBS OR 5.80 CUPS / 8' -12' MATERIAL 0.69 LBS OR 2.00 CUPS / 6'-8' MATERIA

0.19 LBS OR CUP /3 GAL.MATERIAL 0.10 LBS OR CUP/ 1 GAL, MATERIAL

FERTILIZERS SHALL BE SLOW TIME RELEASE, UNIFORM IN COMPOSITION DRY, AND FREE FLOWING AND SHALL MEET THE FOLLOWING REOUIREMENTS: SIX (6) PERCENT NITROGEN, SIX (6) PERCENT PHOSPHOROUS, AND SIX (6) PERCENT

POTASSIUM. FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB PER 3 GAL. CONTAINER, LB PER 1 GAL. CONTAINER) AND GROUNDCOVER THE SOD STARTER FERTILIZER MIXTURE SHALL BE A 5-10-10 AT A RATE OF 20 LBS. PER 1000 S.F. A 14-14-14 FERTILIZER IS REQUIRED ON ALL TREES AND SHRUBS OVER 5' IN HEIGHT (1/2 LB. PER 5' OF SPREAD). AGRIFORM TABLETS WITH TWENTY (20) PERCENT NITROGEN. TEN (10) PERCENT PHOSPHOROUS, FIVE (5) PERCENT POTASSIUM IN 21 GRAM SIZES & SHALL BE APPLIED AT THE FOLLOWING RATE: 1 PER GAL. PLANT 2 PER 3 GAL. PLANTS AND 2 TABLES PER 1" OF TREE TRUNK CALIPER APPLY PALM SPECIAL FERTILIZER AS PER MANUFACTURES RECOMMENDATION.

27. SUPER ABSORBENT POLYMER: "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRLAMIDE COLOLYMER, POTASSIUM, AND ACRYLATE. PARTICLE SIZE OF 1.0 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES IT'S WEIGHT IN WATER. APPLY DRY USING THE FOLLOWING

AMOUNT: 1 PAC PER TREE - 36" BALL SIZE 2 PAC PER TREE -OVER 36" BALL SIZE

1 PAC PER 20 GAL. CONTAINER 0.5 PACS PER 7-10 GAL, CONTAINER

0.25 PACS PER 3 GAL, CONTAINER 0.12 PACS PER 1GAL CONTAINER

28. LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED BY CALLING SUNSHINE ONE CALL SERVICE OR EQUAL. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER.

29. PLANTING SOIL: PLANTING SHALL BE COMPOSED OF 50% SAND AND 50% MUCK. ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STONE. PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRIABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATION

30. WATER FOR PLANTING SHALL BE AVAILABLE AT THE SITE AND SHALL BE PROVIDED BY THE OWNER/GC. AN AUTOMATIC UNDERGROUND RUST FREE IRRIGATION SYSTEM SHALL BE PROVIDED WITH A RAIN SENSOR. THE IRRIGATION SHALL COVER 100% WITH 100% OVERLAP PRIOR TO FINAL INSPECTION.

31. PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIAL PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES. RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT. FLUSH WITH THE TRUNK OR ADJACENT BRANCH, IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS. "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED. TOPPED. OR HATRACKED.

32. SITE PREPARATION: IT SHALL BE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SODDED (PRIOR TO APPLICATION OF SOD) ELIMINATING ALL BUMPS, DEPRESSIONS, STICKES, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE CITY/TOWN INSPECTOR

33. MAINTENANCE: MAINTENACE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTING PLANTS TO PROPER GRADES OR UPRIGHT POSITION AND RESTORATION OF THE PLANTING SAUCER AND ANY OTHER NECESSARY OPERATION. PROPER PROTECTION TO LAWN AREAS SHALL BE PROVIDED AND ANY DAMAGE RESULTING FROM PLANTING OPERATIONS. SHALL BE REPAIRED PROMPTLY. ALL TREE/PALM TRIMMING SHALL BE DONE IN ACCORDANCE WITH ANSI-300 STANDARDS. ALL OWNERS OF THE LAND OR THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING

34. (NOTE: SABAL PALMETTO/CABBAGE PALM SPECIES TIE BRANCHES TOGETHER WITH BIO-DEGRADABLE TWINE TO TIGHT BUNDLE AROUND BUD FOR PROTECTION.

35. MULCH. MULCH MAY BE USED WITHIN PLANTING BEDS IN CONJUNTION WITH GROUND COVER. MULCH SHALL BE RENEWED AND MAINTAINED AS REQUIRED TO MAINTAIN A THREE- INCH DEPTH AT THE TIME OF FINAL INSPECTION, MULCH AROUND TREE ROOT BALLS NOT PLANTED IN PLANTING AREA SHALL BE THREE INCHES DEEP AT THE PERIMETER OF THE ROOT BALL. SEE FIGURES 1 AND 2 AT THE END OF THE CHAPTER

36 GRASS AREAS WITHIN THE LANDSCAPE FASEMENT NOT USED FOR TREES SHRUBS GROUND COVER MULCH OR OTHER LANDSCAPE ELEMENTS SHALL BE PLANTED WITH SOLID SOD OF ST. AUGUSTINE FLORATAM OF PLAMETTO AND SHALL BE IRRIGATED. SOD SHALL BE WEED/PEST FREE INCLUDING FUNGUS AND DISEASE, LAID SMOOTH WITH TIGHT JOINTS AND CUT TO CONFORM TO CURBS AND PLANTERS.

37. WHERE THE LANDSCAPE EASEMENT ABUTS ON SITE VEHICULAR USE AREAS SUCH AS TRAFFIC LANES, THE LANDSCAPE EASEMENT SHALL BE SEPARATED FROM THE TRAFFIC LANES BY CONTINUOS CONCRETE CURBING WITH AN 18-INCH DEPTH BELOW GRADE. EXTRUDED CURBING INSTALLED ON TOP OF THE PAVING IS

38 .EXCAVATION REQUIREMENT: REQUIRED: ISLANDS/MEDIANS SHALL BE EXCAVATED TO 30 INCHES, AND BACK FILLED WITH CLEAN FILL AND PLANTING SOIL CONSISTING OF 50% MUCK AND 50% SAND AT LEAST 3" BELOW THE TOP OF CURB. MANIPULATION OF THE GRADE BEHIND THE CURBING TO CREATE SMALL SCALE MOUNDING IS ENCOURAGED. REQUIRED EXCAVATION AT BUILDING FOUNDATIONS SHALL BE 12 INCHES AND BACK FILLED WITH CLEAN FILL AND PLANTING SOIL. PLANTING SOIL SHALL BE FREE OF DEBRIS, WEED, ROCK, AND PH BETWEEN 6.5 AND 7.0

39. A LANDSCAPE PERMIT IS REQUIRED FOR ALL LANDSCAPE INSTALLATIONS INCLUDING NEW SINGLE FAMILY HOMES THAT ARE NOT PART OF A PLANNED COMMUNITY NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED IN PUBLIC RIGHTS-OF-WAY (SWALE AREAS) WITHOUT PERMIT FROM THE CITY. NO SHRUB SPECIES WITH A MATURE HEIGHT THAT WILL BLOCK THE CLEAR SIGHT ZONE FROM 30 INCHES IN HEIGHT TO SIX FEET IN EIGHT WILL BE APPROVED IN SWALE AREAS

40. TOPSOIL SHALL BE CLEAN AND FREE OF CONSTRUTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES, AND EXHIBITT A PH OF 6.5 TO 7.0. THE TOPSOIL FOR PLANTING AREAS SHALL BE AMENDED WITH HORTICULTURALLY ACCEPTABLE ORGANIC ATERIAL. ALL SOIL USED SHALL BE SUITABLE FOR THE INTENDED PLANT MATERIAL. THE SOURCE OF THE TOPSOIL SHALL BE KNOWN TO THE APPLICANT AND SHALL BE ACCEPTABLE TO THE CITY

MINIMUM SOIL DEPTH: REQUIRED: THE MINIMUM PLANTING SOIL DEPTH SHALL BE SIX INCHES FOR GROUND COVERS, FLOWERS, SHRUBS AND HEDGES.

ROOTBALL SOIL: REQUIRED: TREES SHALL RECEIVE 12 INCHES OF PLANTING SOIL AROUND THE ROOT BALL NATIVE SOIL:

REQUIRED: NATIVE TOPSOIL ON THE SITE SHALL BE RETAINED ON-SITE AND USED WHEN THERE IS SUFFICIENT QUANTITY TO COVER AT LEAST SOME OF THE ON-SITE LANDSCAPED AREAS.

ARID PLAMS REQUIRED: CLEAN SAND SHALL BE USED TO BACKFILL ARID CLIMATE PALMS.

41. USE OF ORGANIC MULCHES: A TREE-INCH MINIMUM THICKNESS OF APPROVED ORGANIC ARSENIC FREE MULCH MATERIAL AT THE TIME OF FINAL INSPECTION, SHALL BE INSTALLED IN ALL LANDSCAPE AREAS NOT COVERED BY BUILDING, PAVEMENT, SOD, DECORATIVE STONES, PRESERVED AREAS AND ANNUAL FLOWER BEDS, EACH TREE SHALL HAVE A RING OF ORGANIC MULCH AT THE PERIMETER OF THE ROOT BALL

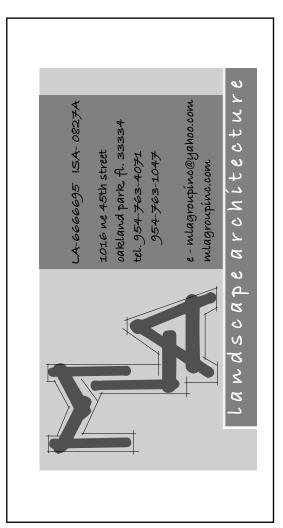
42. ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM AS APPROVED BY THE CITY.

43. THE ERADICATION OF NUISANCE VEGETATION (EXOTICS) EXISTING ON SITE REQUIRED ON ALL SITES. INCLUDING ABUTTING RIGHTS-OF WAY. PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY PRIVATELY OWNED NATURAL AREAS SHALL BE INCLUDED IN THIS REQUIREMENT. FICUS BENJAMINA AND FICUS NITIDA MAY BE USED FOR HEDGE MATERIAL WITH A FIVE-FOOT SEPARATION FROM WATER LINES. FICUS HEDGES MAY NOT BE PLANTED IN UTILITY EASEMENTS

44. HEDGES: WHERE REQUIRED SHALL BE PLANTED SO AS TO BE TIP TO TIP WITHIN SIX MONTH S OF PLANTING AND MAINTAINED SO AS TO FORM A CONTINOUS VISUAL SCREEN. SHRUBS USED AS HEDGES SHALL BE FLORIDA DEPARTMENT OF AGRICULTURE GRADE No 1 OR BETTER WITH A MINIMUM HEIGHT OF 24 INCHES AND MINIMUM SPREAD OF 24 INCHES. WHEN MEASURED IMMEDIATELY AFTER PLANTING AND SHALL BE MINIMUM OF THREE FEET IN HEIGHT WITHIN TWO YEARS FROM THE DATE OF PLATING. HEDGES SHALL BE PLANTED WITH BRANCHES TOUCHING. WITHIN SIX MONTHS OF PLANTING SO AS TO CREATE A SOLID SCREEN WITH NO VISUAL SPACES BETWEEN PLANTS AT THIS TIME. PLANTS SPACING MAY BE ADJUSTED ACCORDING TO PLAT SIZES SO LONG A THE PRECEDING IS ACHIEVED. ALL GROUNDCOVER SHALL BE INSTALLED AT 75% COVERAGE AND 100% WITHIN 6 MONTHS AFTER FINAL ACCEPTANCE.

45. ALL ABOVE GROUND ELEMENTS INCLUDING BUT NOT LIMITED TO DUMPSTERS, FENCES, WALLS, A/C UNITS, IRRIGATION PUMPS. TRANSFORMERS AND GENERATORS SHALL BE SCREENED WITH LANDSCAPE MATERIAL TO A HEIGHT OF 36" MIN.

46. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE RUST FREE 100% COVERAGE & 100% OVERLAP. CONTRACTOR SHALL ENSURE THERE IS NO OVERSPRAY ONTO IMPERVIOUS AREAS. ALL IRRIGATION PVC RISERS SHALL BE PAINTED FLAT BLACK



REVISIONS: TOWN COMMENTS:8/1/18

SHEET TITLE:

LANDSCAPE **DETIALS AND SPECIFICATIONS** 

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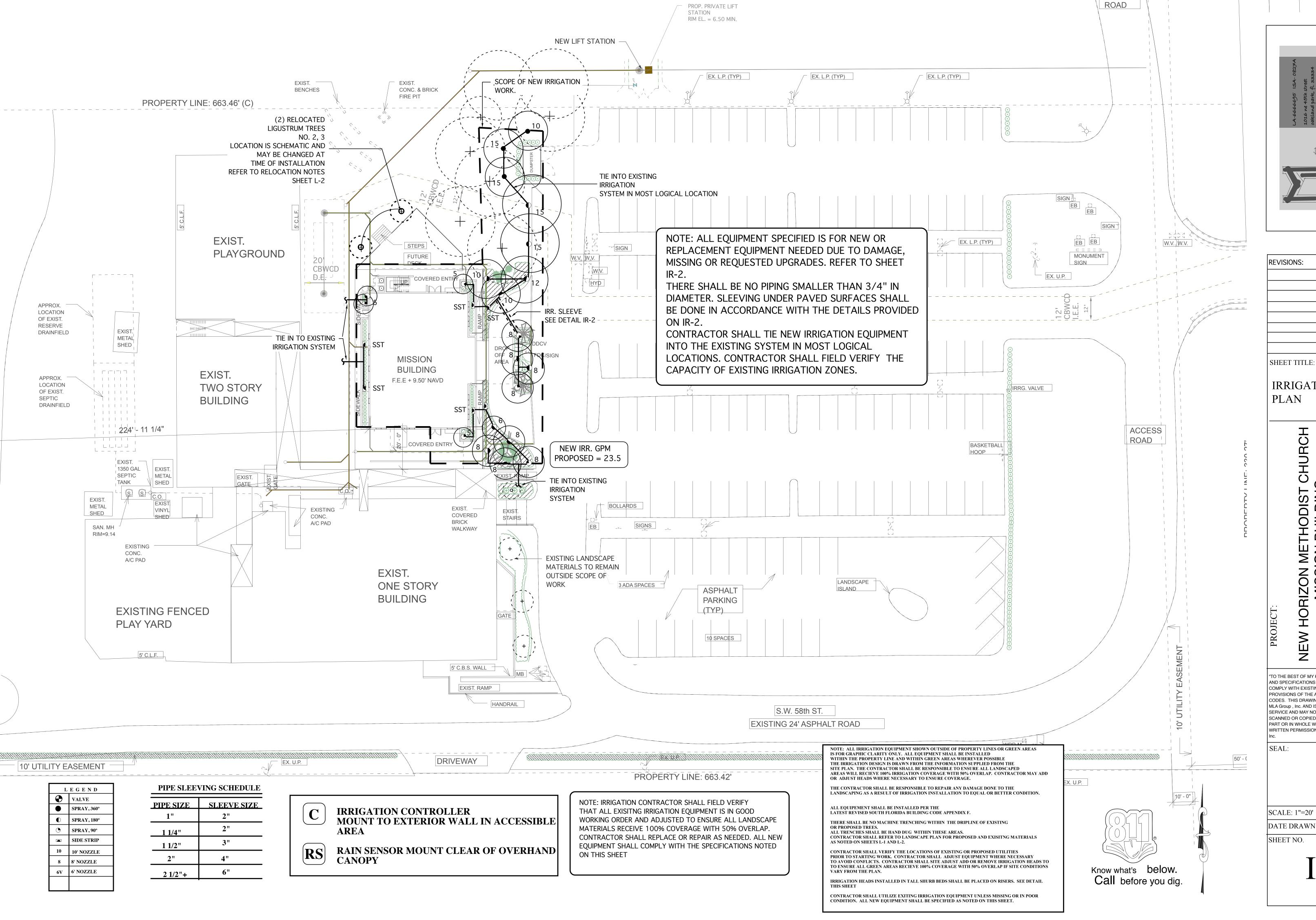
"TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE PROPERTY OF MLA Group, Inc. AND IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, SCANNED OR COPIED BY ANY OTHER MEANS IN PART OR IN WHOLE WITHOUT EXPRESS WRITTEN PERMISSION OF SAME" © MLA Group

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SEAL:

DATE DRAWN: 4/12/18

SHEET NO.



ACCESS

**IRRIGATION** 

HORIZON MISSI

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"TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE PROPERTY OF MLA Group, Inc. AND IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, SCANNED OR COPIED BY ANY OTHER MEANS IN PART OR IN WHOLE WITHOUT EXPRESS WRITTEN PERMISSION OF SAME" © MLA Group

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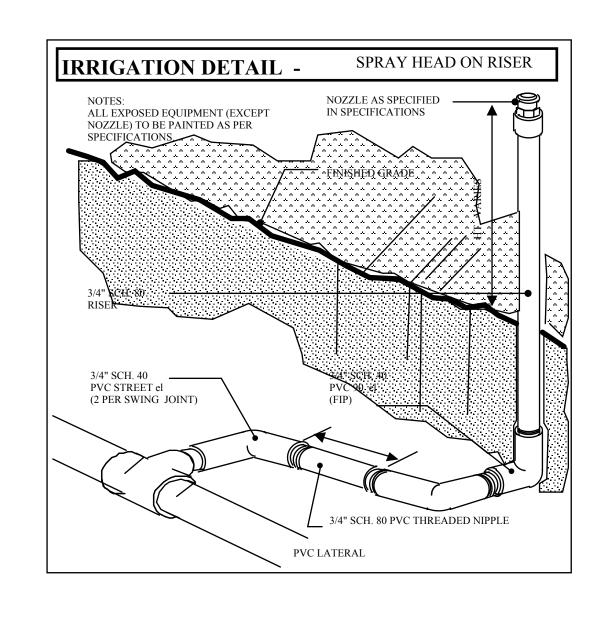
# IRRIGATION MASTER KEY

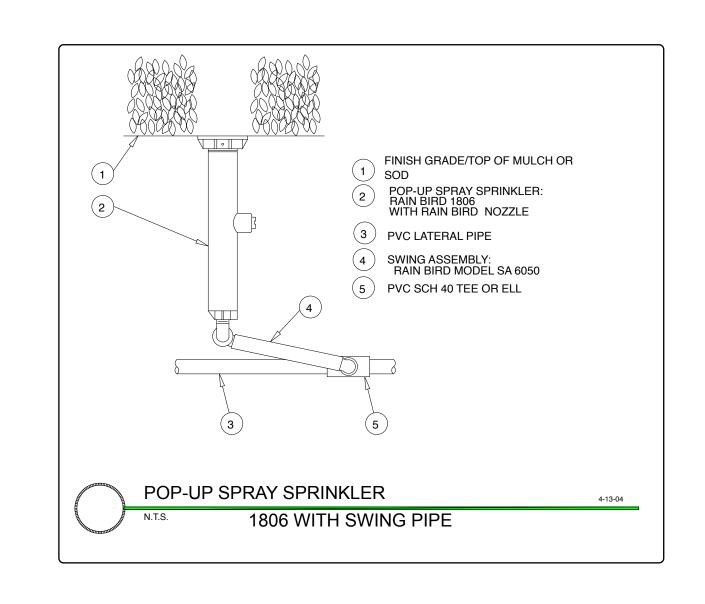
| KEY | NO.   | CODE                | ITEM DESCRIPTION   | INSTALLATION SPEC.  |
|-----|-------|---------------------|--|---|
|     | 14    | SLV<br>LINE<br>NOTE | SLEEVES IN THIS CONTRACT Sleeves under roadways and driveways shall be SCH-40 Sleeves under sidewalks can be CLASS 160 PVC Install as per details and specifications.                | Each sleeve shall be a minimum of two sizes larger than lateral pipe enclosed and each crossing shall include separate electrical conduit sleeves. All sleeves under pavement or roads shall be a minimum of 24" below the top of paving to the top of the sleeve and under walks at 12" below grade. Irrigation contractor shall supply and place sleeves, and be responsible for their locations. Sleeving shall be installed at the most logical locations to avoid underground utilities and structures. Sleeving locations shall be considered shematic on irrigation plans. The GC shall backfill and pave as required. No rock shall be in contact with PVC sleeves. All Asphalt base compaction and paving shall be made by the Paving Contractor on the job. |
|     | 02    | CONTR<br>NOTE       | IRRIGATION CONTRACTOR  UTILITIES ABOVE AND BELOW GROUND.   | Contractors shall be responsible for the location and verification of all overhead and underground utilities. Contractor shall coordinate with all of the appropriate agencies to verify utilities in the field. Contractor shall be responsible for the protection and maintenance and any damage to existing utilities and structures that may occur in the implementation of the scope of work within this project. CONTRACTORS MUST USE THE NEW STANDARD SCHEDULE MARKINGS ON THE GROUND 1994 edition   |
| X   | 00V11 | VALVE<br>BOX        | VALVE COVER BOX - AMETEK Heavy Duty Box with Locking Covers, JVB-10 Box 10" Dia.   | All valve assemblies to be installed below grade shall include AMETEK valve location. Group valve assemblies so they are accessible with the correct size Install top of box flush with surrounding grade, grass or mulch depending on boxes with a 2" layer of drainage gravel as clean dry ballast for a bottom. box. Any substitutions must be approved by landscape architect by providing sample or product information for review and written approval.   |
|     | 70A   | Head                | RAINBIRD 1800 SERIES, XP and VAN SERIES 1806-PRS 6" POP-UP 3/4 HDS FULL Low Gallon Nozzles 1/4 HDS 1/2 HDS HEADS 2.5' 4',5', 6', 8',10',12',15' Raduis  RAINBIRD SPECIAL PATTERN SST | All heads in tall shrub beds shall be mounted on sch. 160 12" risers painted krylon jungle green.  Contractor shall adjust head spray to eliminate over spray of water onto structure walls, driveways, and walkways.   |
|     | 90    | HEAD<br>NOTE        | GENERAL HEAD NOTE  ALL HEAD LOCATIONS SHOWN ON PLANS ARE SCHEMATIC AND SHALL BE INSTALLED IN MOST LOGICAL LOCATION TO ENSURE DESIRED COVERAGE OF PLANT MATERIALS                     | Contractor to maintain 100% coverage with minimum 50% overlap when minor head location changes are necessary due to field conditions. Install adjustable angle nozzles where needed."All heads in open grass areas to be mounted on polypipe swing joints. Heads in shrub areas shall be installed on SCH 160 risers raised to 6" above plant height, and with PVC SCH 160 swing joint assemblies below grade. Risers taller than 24" above grade shall be staked for support. All risers shall be fitted with shrub adapters and appropriate nozzles. All risers shall be painted with Krylon Jungle Green or equal.   |

NOTE: ALL EQUIPMENT SPECIFIED IS FOR NEW OR

# REPLACEMENT EQUIPMENT NEEDED DUE TO DAMAGE, MISSING OR REQUESTED UPGRADES

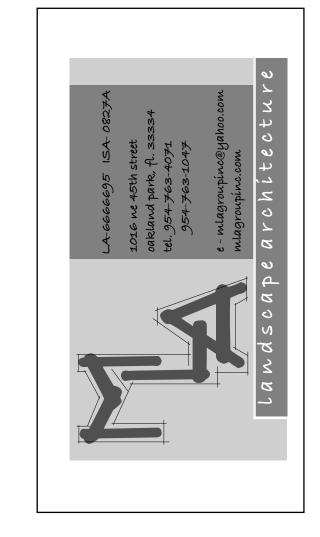
# PIPE AND CONDUIT ACROSS ROADWAYS IRRIGATION DETAIL -\_ COMPACTED ROAD 6" COMPACTED ROCK 6" MIN. COMPACTED SAND — 6" MINIMUM COVER (SAND) UNDER CONCRETE WALKWAYS. SCH. 40 PVC PIPE SLEEVE ELECT. CONDUIT OR PVC LATERAL LINE CLEAN SAND FILL NOTE: FLOOD SAND FILL INTO PLACE AND VIBRATE WITH CONCRETE VIBRATOR. SHC. 40 PVC PIPE SLEEVE USE WHERE MAINLINE IS UNDER ROADWAY NOTE: SEE PIPE SLEEVING SCHEDULE FOR SLEEVE SIZES. FOR PIPES 2 1/2" AND OVER THERE SHOULD BE A 2" MNIMUM BETWEEN THE INSIDE WALL OF THE SLEEVE AND THE OUTSIDE WALL OF THE PIPE.





# IRRIGATION MASTER KEY

| KEY  | NO.   | CODE                | ITEM DESCRIPTION  | INSTALLATION SPEC.  |
|------|-------|---------------------|---|---|
|      | 00V1  | WIRE<br>LOW<br>VOLT | Control wires for 24V Automatic Valves, shall be installed by Irrigation Contractor. Wire shall be sleeved in minimum 1" SCH 40 electrical conduit buried a minimum of 24".  Contractor shall run (2) spare control wires and (1) one spare common wire to the furthest ends of system in each direction. Common wire shall be grey or green, while the control wires shall each be a different color | All irrigation control wires shall be U. L. approved 24V solid copper wire. Wires shall operate 24V automatic sprinkler valves and enter the box from below. Hot and spare wires to be AWG size 14 gauge and common wires to be AWG white size 12 gauge.  Number 14 wire to be color coded separately with dark colors. Multi strand cable shall only be used between the controller and the first splice pit and shall not exceed 20 feet.  No splices between valves: All splicing shall be done in valve boxes only. All splices made with 3MBDY wire connectors. All valve box locations to be approved by the land. arch. all valve boxes set level w/grade.   |
| •    | 00V1A | MASTER<br>VALVE     | Irritrol Series 700 or Series 100 Use Angle configuration  3" valves for zones to GPM volumes 171-300 2" valves for zones to GPM volumes 71-170 1.5" valves for zones to GPM volumes 41-70 1" valves for zones to GPM volumes btwn 10-40  | All Valves shall be installed in a separate AMETEK valve box . All valve boxes to be placed upon a 2" layer of gravel . All valves assembled with Sch. 80 PVC nipples shall be used in place of male adapters. Top stem of valve assembly to be 6" below cap of valve cover box. This valve shall be used as the job standard. Valve controlling each Zone as well as use as the Master Control Valve for applicable plans. All valve box locations to be approved by the Landscpe Architect. All boxes to be set level with grade.   |
|      | 11    | PIPE<br>GEN<br>NOTE | LATERAL PIPE All New Pipe and Fittings. Size as noted in plans.   | 3/4" Pipe to be Class 200. All other lateral pipe to be Class 160, except where ground is rocky; in rocky ground SCH 40 pipe will be used. Class 200/160 will be protected on all sides with at least 6" of clean, debris-free builders sand. All laterals to be placed 12" minimum below grade. All lateral pipe under pavement to be sleeved. No lateral installed shall be less than 3/4".   |
|      | 12    | PIPE<br>GEN<br>NOTE | MAIN & LATERALS  MAINLINE SHALL NOT BE UNDER PRESSURE WHILE THE SYSTEM IS NOT IN OPERATION.   | Unless specifically detailed All PIPING locations shown on plans are schematic. Contractor to adjust trenching in field for existing conditions, plantings and structures. Install pipes clear of hedge rows and tree rootballs. Irrigation contractor is responsible to adjust lines at his own expense if not coordinated with all other work. All piping shall be bed in clean fill per Florida Building Code 2001 and back fill all trenches free of debris. Mechanical trenchers are acceptable except in drainage swales and utility areas which shall be hand dug and backfilled to original grade.  CONTRACTOR ADJUSTMENTS DOES NOT WARRANT ADDITIONAL COSTS BASED ON BASE BID.   |
|      |       | PIPE<br>GEN<br>NOTE | MAIN & LATERALS<br>BACKFILLING  | Ground Level Areas: The sub-contractor shall do all necessary excavating and backfilling required for the proper installation of the work. Minimum depth of cover over piping shall be 12 inches. Backfill material shall be clean fill. If existing material has an excess of rock, then clean sand must be used. In rocky areas, use Sch. 40 PVC, or the trenching depth shall be two inches below normal trench depth to allow for a 2 inch bed of sand below the pipe. There shall be NO rock in contact with PVC pipe. The sub-contractor shall use backfilling equipment that will tamp backfill to its original density. He shall barricade or light the excavation to prevent hazards to the public. Objectionable materials such as old concrete, asphalt, limerock and bricks that are encountered during working operations, shall be removed from the project by the sub-contractor. Sub contractor shall be responsible to locate any above or underground utilities prior to starting work. If utilities are found to be in conflict with the proposed work the Owner or owner's agent shall be notified immediately. |
|      |       | SLV<br>LINE<br>NOTE | SLEEVES IN THIS CONTRACT Sleeves under roadways and driveways shall be SCH-40 Sleeves under sidewalks can be CLASS 160 PVC Install as per details and specifications.   | Each sleeve shall be a minimum of two sizes larger than lateral pipe enclosed and each crossing shall include separate electrical conduit sleeves. All sleeves under pavement or roads shall be a minimum of 24" below the top of paving to the top of the sleeve and under walks at 12" below grade. Irrigation contractor shall supply and place sleeves, and be responsible for their locations. Sleeving shall be installed at the most logical locations to avoid underground utilities and structures. Sleeving locations shall be considered shematic on irrigation plans.  The GC shall backfill and pave as required. No rock shall be in contact with PVC sleeves.  All Asphalt base compaction and paving shall be made by the Paving Contractor on the job.   |
| С    | 00C17 | CON                 | IRRIGATION CONTROLLER HUNTER ICC SERIES OR EQUAL Electromechanical controller. Add zone modules as needed. Controller will be installed as part of the pump station wihin pump enclosure. Contractor shall provide electrical service to pump station.  Electrical hook-up provided by GC's electrician on site. Irrigation Contractor to coordinate with GC / Electrician.                           | Contractor shall mark stations on the controller panel to correspond with the zone numbers on this plan and set operating sequence to correspond with the numbering. OF COLORS DESIGNATED FOR   |
| RS X |       | RAIN<br>sensor      | "MINI CLIK" RAIN SENSOR MODEL 502  TO BE INSTALLED BY IRRIGATION CONTRACTOR IN AN EASILY ACCESSIBLE POSITION CLEAR OF OVERHEAD OBSTRUCTIONS   | "MINI CLIK" Mount the Mini Clik PER MANUFACTURER'S SPECIFICATIONS. Each system shall have it's own individual rain sensor. Contractor is responsible for a fully operational system from timeclock to location of the sensor.   |
|      |       |                     |   |   |

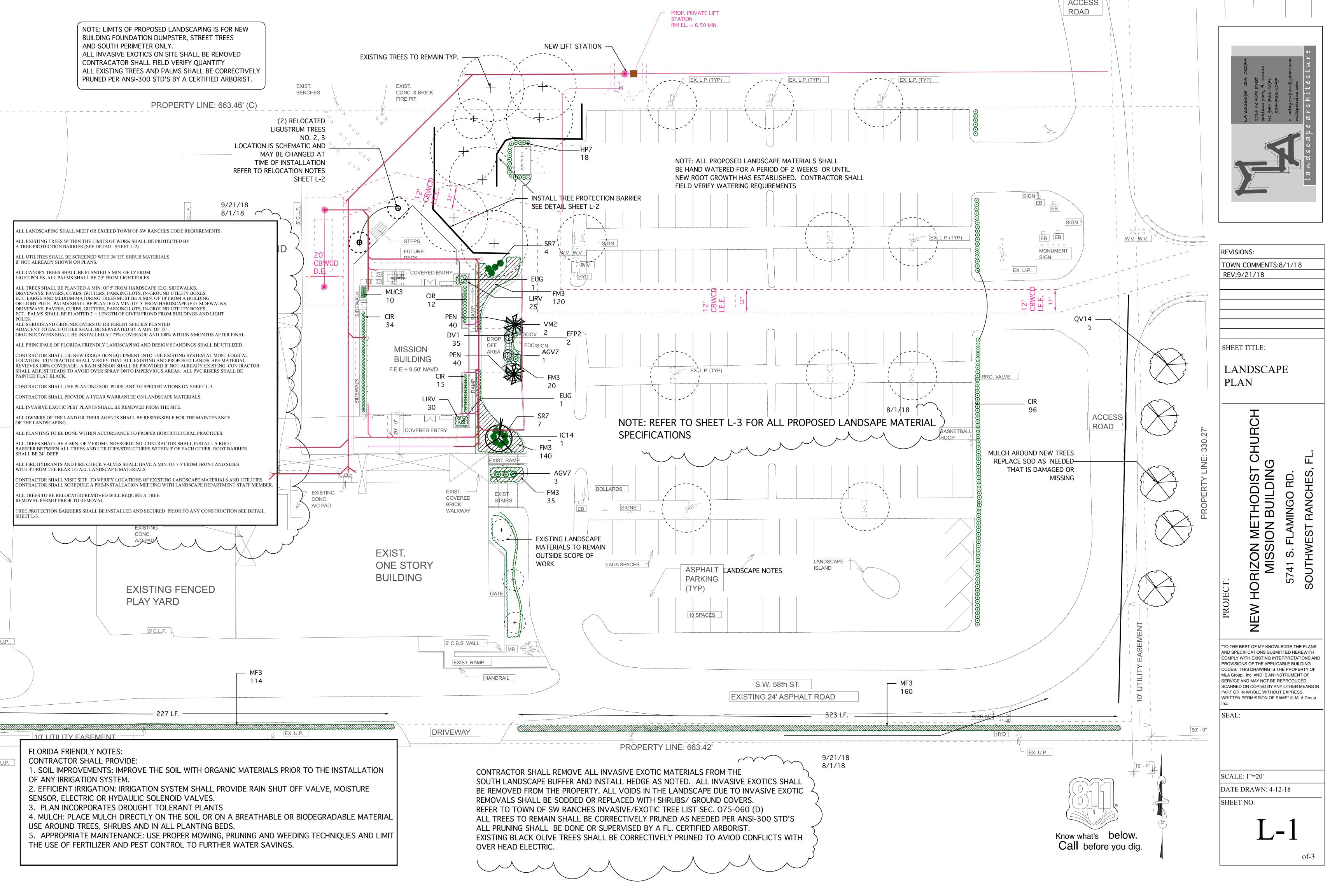


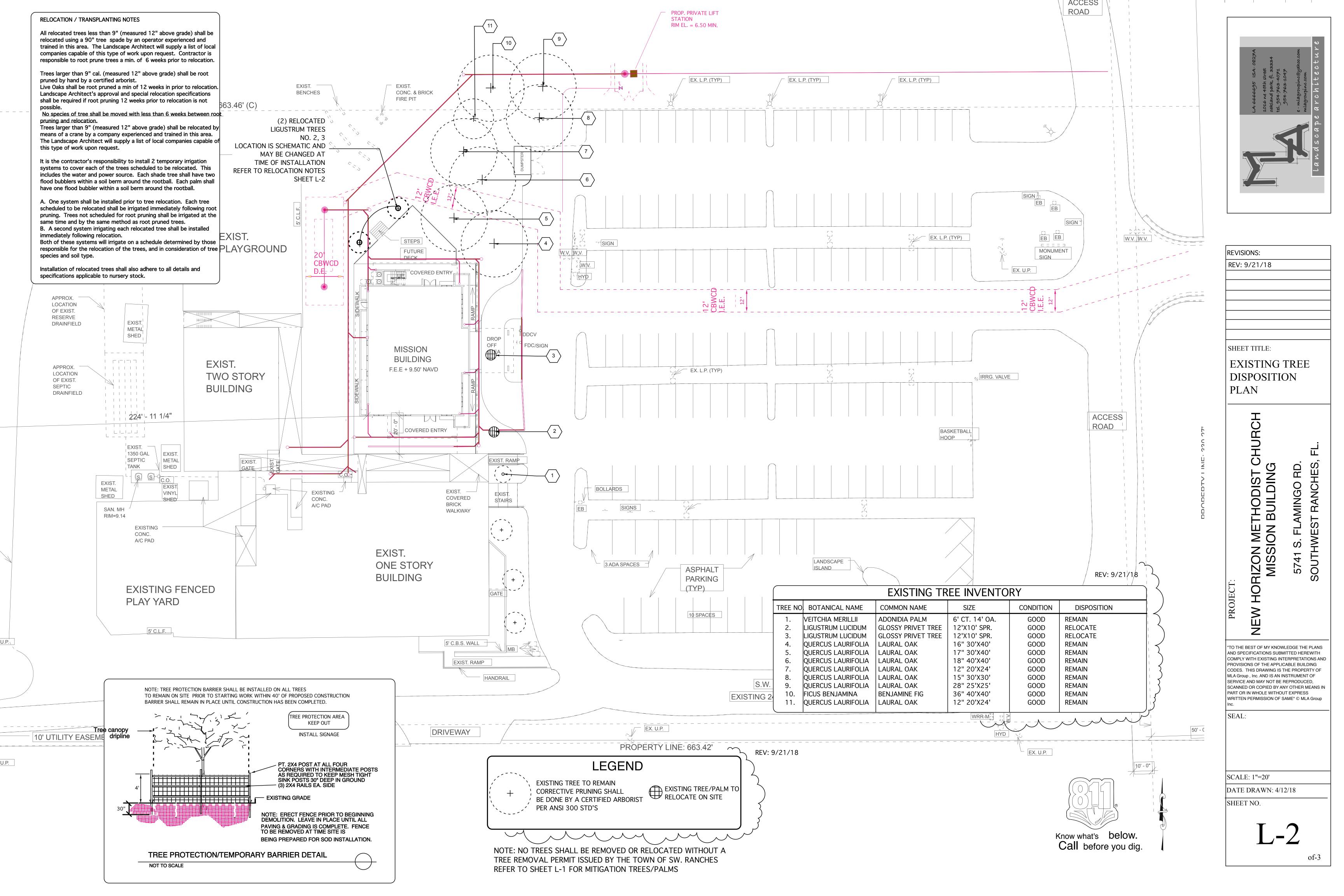
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DATE DRAWN: 9-21-18

SHEET NO.





# NEW HORIZON UNITED METHODIST CHURCH - MISSION BUILDING

WATER, SEWER, PAVING AND DRAINAGE PLANS SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA

# DEVELOPER:

NEW HORIZON UNITED METHODIST CHURCH, INC. 5741 S. FLAMINGO ROAD, SOUTHWEST RANCHES, FL 33330 TEL: (954)434-7400

# ENGINEER:

PILLAR CONSULTANTS, INC. 5230 S. UNIVERSITY DRIVE, SUITE 104 DAVIE, FL 33328 TEL: (954)680-6533

# ARCHITECT:

SQUARE ONE ARCHITECTURE, INC 3321 NW 97TH AVENUE SUNRISE, FL 33351 TEL: (954)861-0852

# LANDSCAPE DESIGNER:

McCLURE LANDSCAPE ARCHITECTURE, INC. 690 N.E. 13th STREET, SUITE 105 FT. LAUDERDALE, FL 33304 TEL: (954)763-4071 FAX: (954)337-0817



# LOCATION MAP

NOT TO SCALE SECTION 35, TOWNSHIP 50 SOUTH, RANGE 40 EAST

# LAND DESCRIPTION

SOUTH ONE HALF (1/2), NEW HORIZON UNITED METHODIST CHURCH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 122, PAGE 46, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING, AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.

# SHEET INDEX:

| CS-1 | COVER SHEET                       |
|------|-----------------------------------|
| SP-1 | APPROVED SITE PLAN                |
| SP-2 | APPROVED SITE DETAILS             |
| SU-1 | BOUNDARY/TOPO SURVEY              |
| C-1  | PAVING, GRADING AND DRAINAGE PLAN |
| C-2  | ENGINEERING DETAILS               |
| C-3  | WATER AND SEWER PLAN              |
| LS-1 | LIFT STATION SPECIFICATIONS       |
| C-4  | GENERAL NOTES AND SPECIFICATIONS  |
| C-5  | GENERAL NOTES AND SPECIFICATIONS  |
| FR-1 | FIRE RESCUE PLAN                  |
| ER-1 | EROSION CONTROL PLAN              |
| L-1  | LANDSCAPE PLAN                    |
| L-2  | LANDSCAPE MATERIAL SPECIFICATIONS |

LANDSCAPE DETAILS AND SPECIFICATIONS

ENGINEER'S SEAL
NOT VALID WITHOUT
ORIGINAL SIGNATURE
CENSON
No. 39461

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CONDO
STATE OF

SHEET TITLE

**COVER SHEET** 

PILLAR CONSULTANTS, IN
Consulting Engineers, Planners, Surveyors

REVISIONS

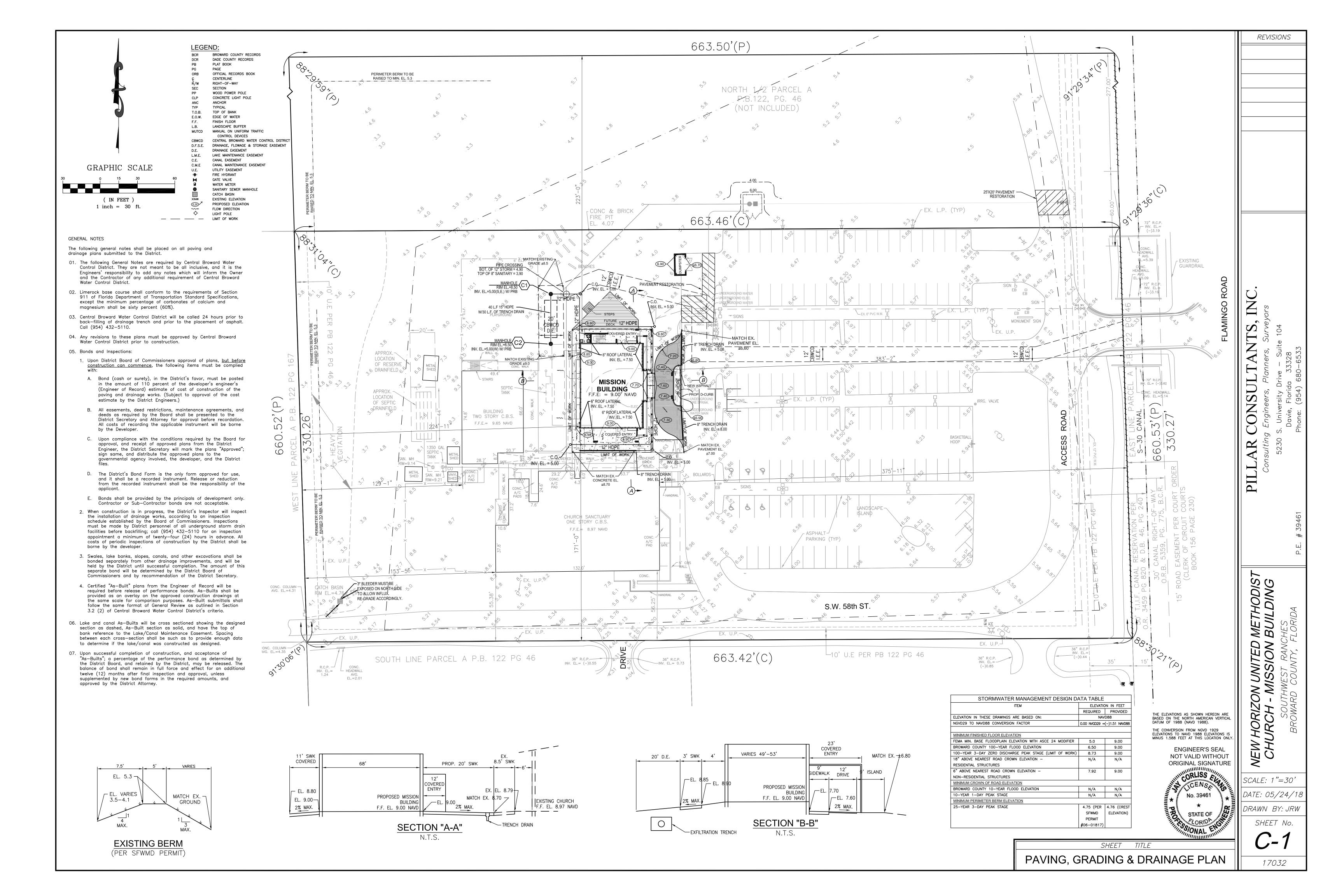
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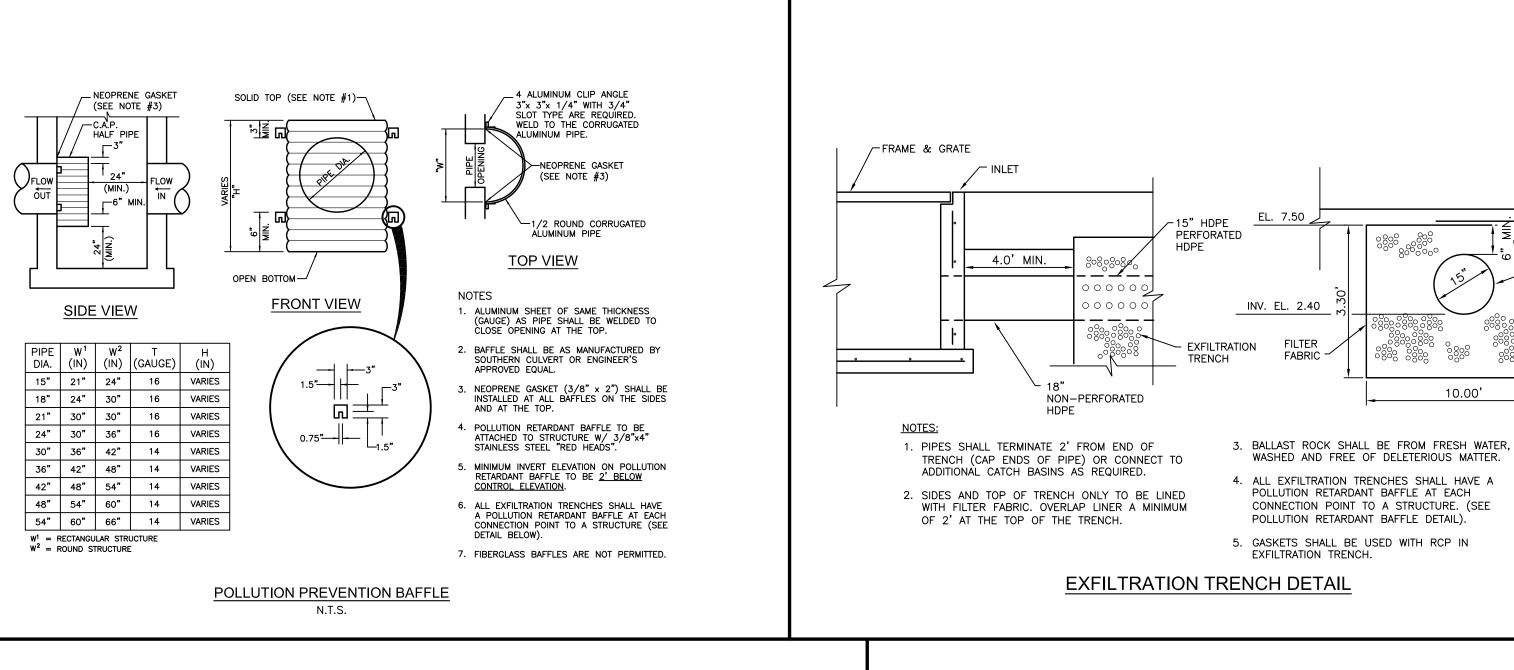
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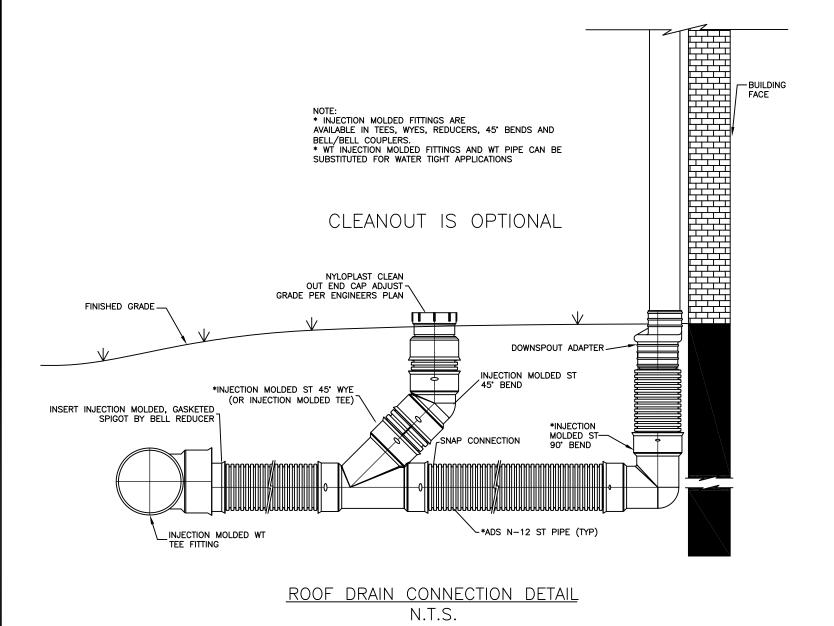
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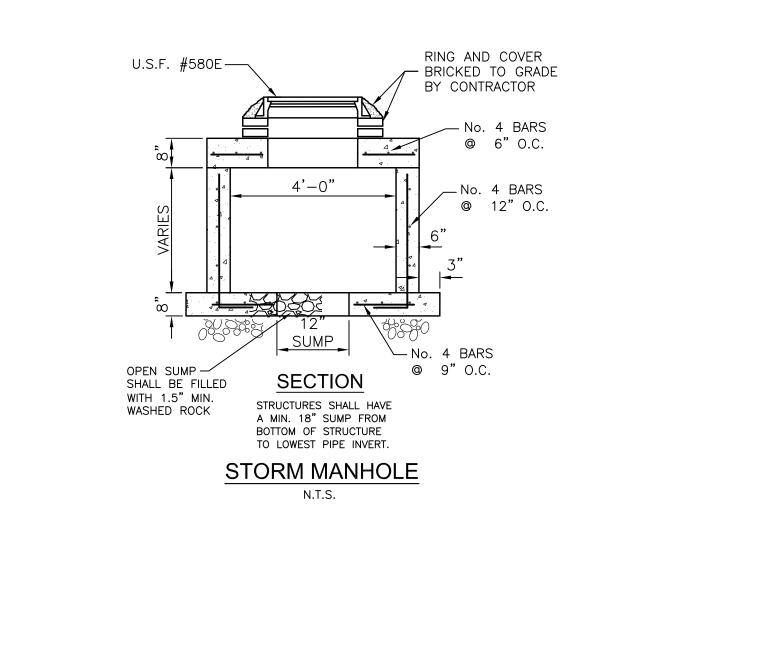
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STABILIZED

SUBGRADE

PERFORATED

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HDPE

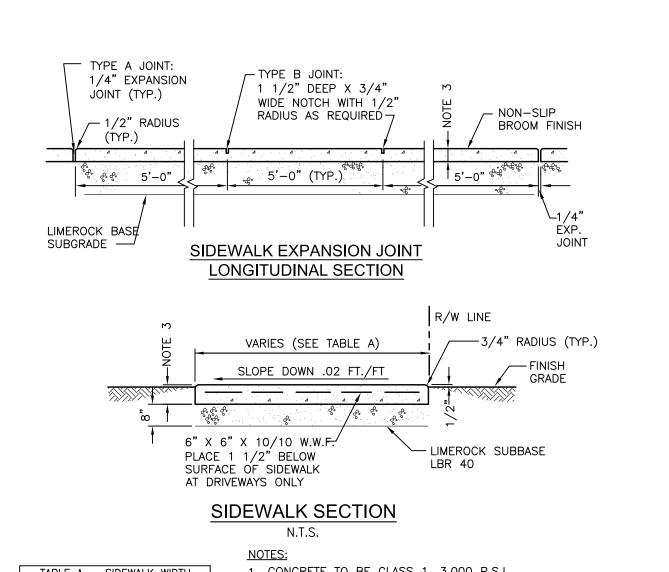


TABLE A - SIDEWALK WIDTH
WIDTH ROADWAY APPLICATION
4' LOCAL STREET ACCESSES
5' TWO-LANE COLLECTOR
5' FOUR-LANE COLLECTOR

5' TWO-LANE COLLECTOR
5' FOUR-LANE COLLECTOR
6' ARTERIAL ROADWAYS

SIDEWALK JOINTS

TYPE LOCATION

"A" P.C. P.T. OF CURVES

"B" 5'-0" CENTER TO CENTER
ON SIDEWALKS

1. CONCRETE TO BE CLASS 1, 3,000 P.S.I.

2. USE OF FIBRE REINFORCED CEMENT IS PROHIBITED.3. 4" THK. MIN. (TYP.); 6" THK. AT DRIVEWAYS, EXTENDED

 SIDEWALK SLOPES SHALL MEET THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT.

TWO-FEET BEYOND DRIVE, ON BOTH SIDES.

5. CONSTRUCT EXPANSION JOINTS AT SPACINGS SHOWN ABOVE; AT POINT OF CURVATURE; AT ADJOINING STRUCTURES; AT THE END OF DAYS WORK; AND WHERE NEW SIDEWALK MEETS EXISTING SIDEWALK.

6. ALL SIDEWALKS TO HAVE NON-SLIP BROOM FINISH.

PILLAR CONSULTANTS, INC. Consulting Engineers, Planners, Surveyors

REVISIONS

P.E. # 39461

ON UNITED METHODIST
- MISSION BUILDING
THWEST RANCHES

SCALE: N.T.S.

DATE: 05/24/1

ENGINEER'S SEAL
NOT VALID WITHOUT
ORIGINALL'S CONTROL
ORLISS

DRAWN B
SHEET

SHEET No.

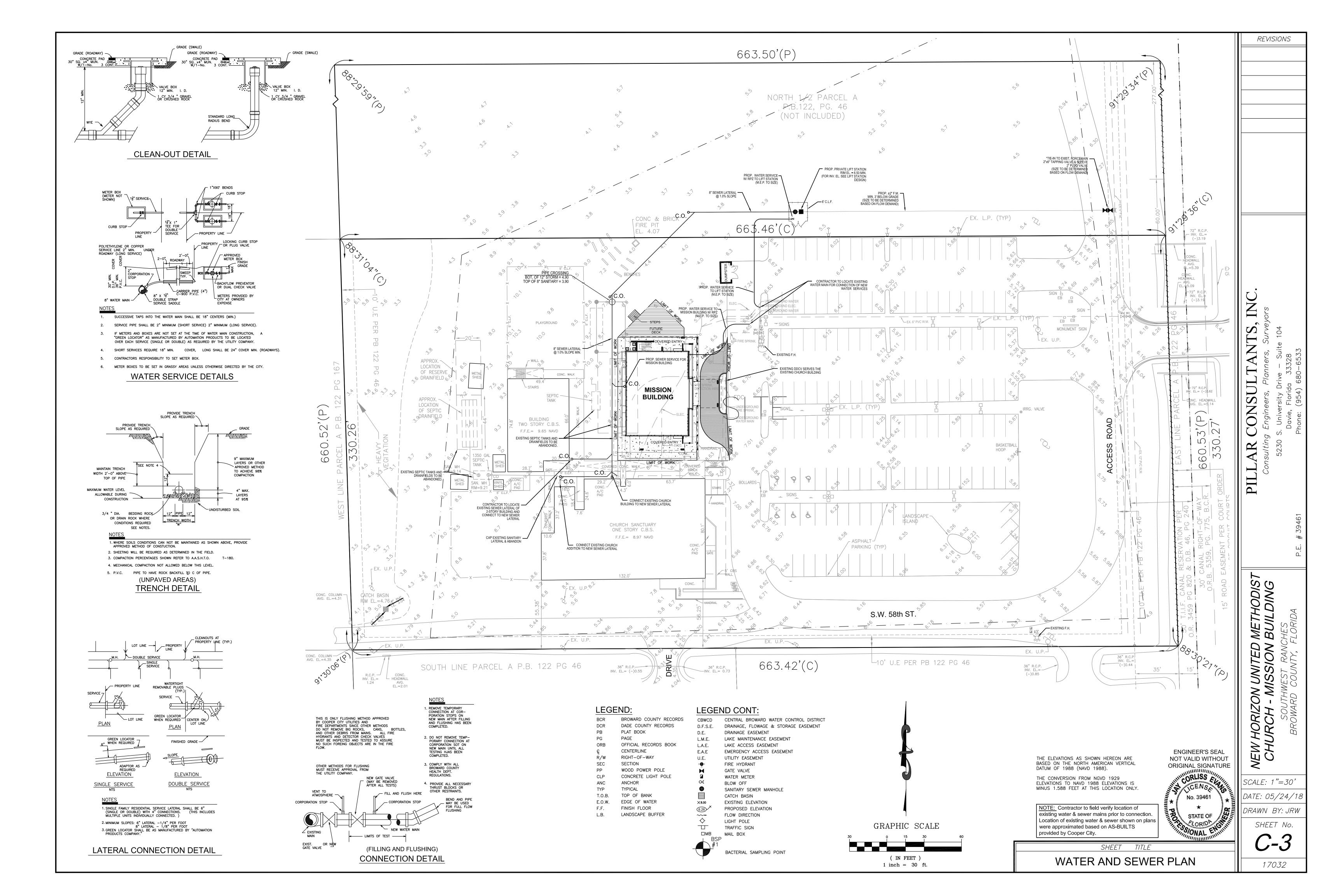
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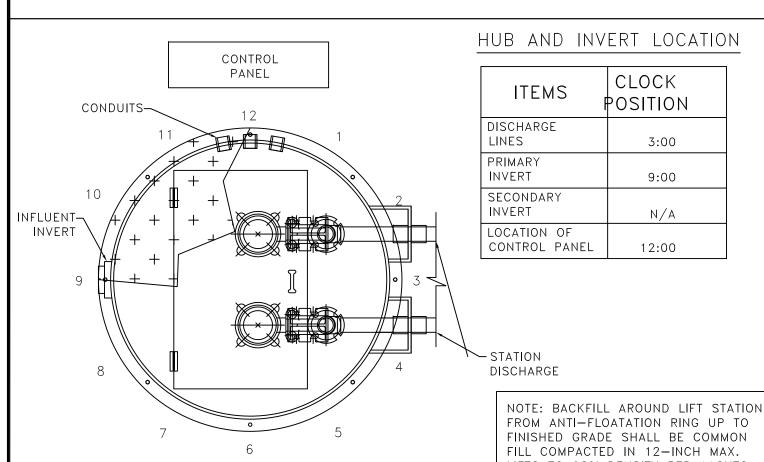
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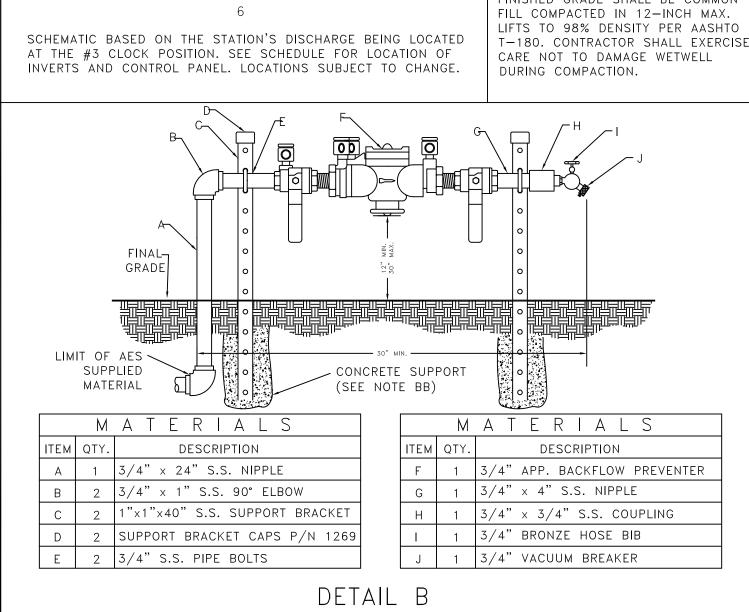
THE ELEVATIONS AS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).

THE CONVERSION FROM NGVD 1929 ELEVATIONS TO NAVD 1988 ELEVATIONS IS MINUS 1.588 FEET AT THIS LOCATION ONLY.

SHEET TITLE
ENGINEERING DETAILS

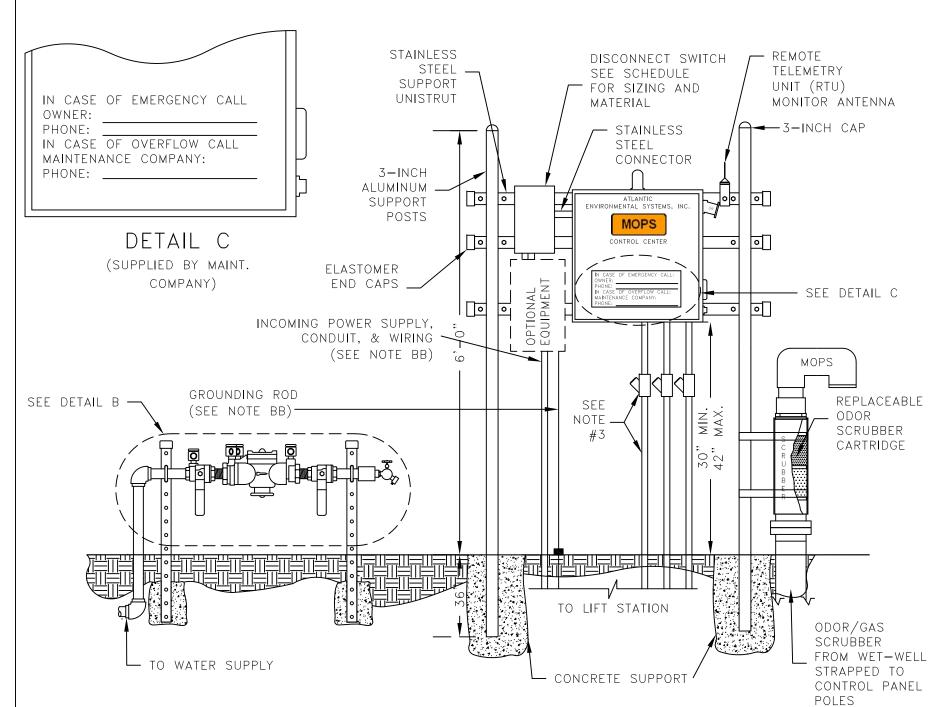




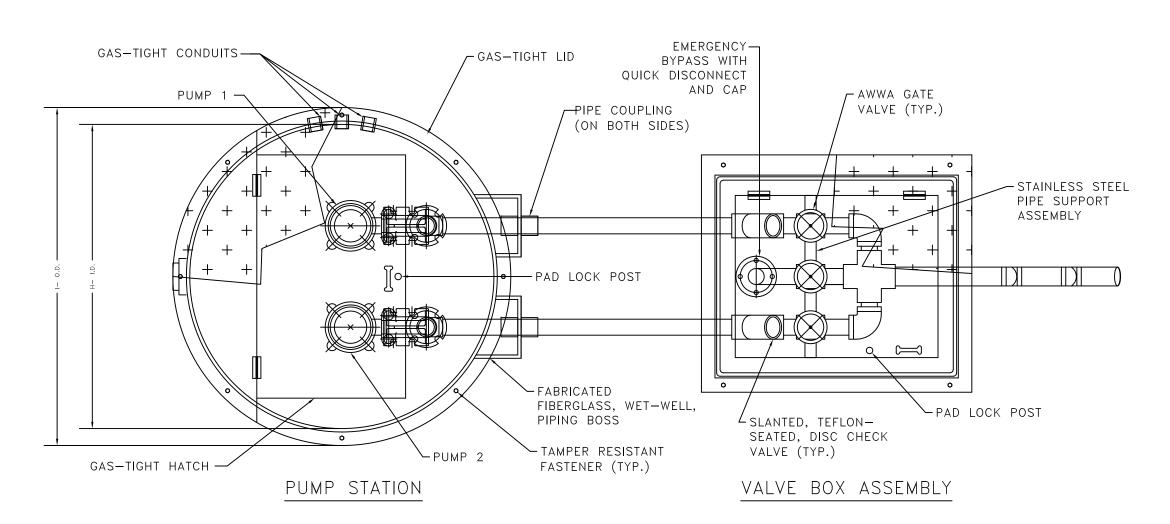


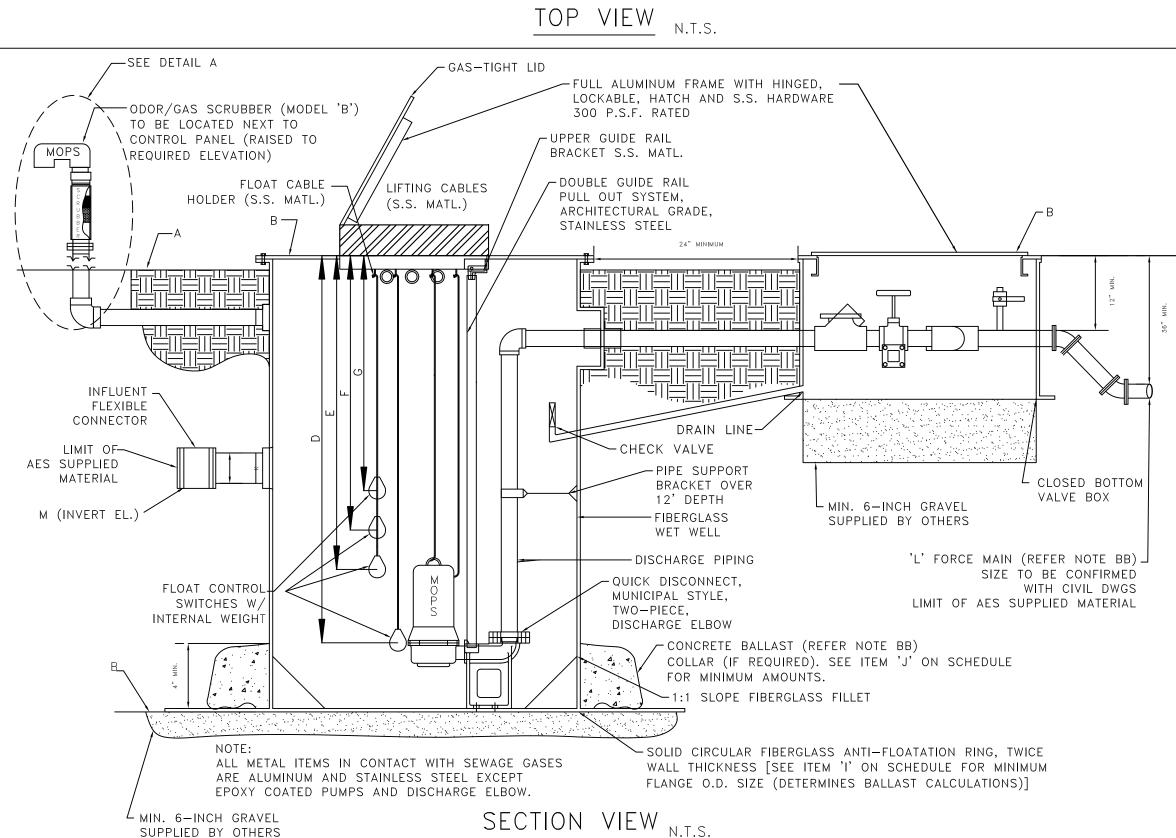
R.P.Z. BACKFLOW PREVENTER ASSEMBLY DETAIL

U.S.C. AND A.S.S.E. APPROVED



CONTROL CENTER ASSEMBLY AND INSTALLATION N.T.S.





MANUFACTURED ODORLESS PUMP STATION ATLANTIC ENVIRONMENTAL SYSTEMS, INC. LAKE WORTH, FL 33461

PH: (561) 547-8080 FAX: (561) 547-3999

MOPS

└FINE MESH

MONEL

INSECT

SCHEDULE

FOR MODEL

AND SIZE

DETAIL A

1. SCRUBBER DESIGNED TO REMOVE

OFFENSIVE ODORS SUCH AS

SKATOLES AND MERCAPTANS.

SHOP DRAWING SUBMITTALS.

3. SCRUBBER UNIT CAN BE MOUNTED INSIDE WET-WELL OR TOP

SCRUBBER'S LIFE EXPECTANCY

CALCULATIONS ARE INCLUDED IN

TOXIC SEWAGE GASES, H2S, AND

MOPS ODOR/GAS

SCRUBBER

MOUNTED.

4. MODEL 'B' SHOWN.

SCREEN

INDICATOR

➤ STAGE

∽ STAGE

PRIVATE SERIES

THIS DRAWING AND THE DESIGN CONTAINED HEREIN IS PROPRIETARY AND IS AND SHALL REMAIN THE PROPERTY OF ATLANTIC ENVIRONMENTAL SYSTEMS, INC. THIS DRAWING AND DESIGN SHOULD BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS INTENDED. AND ONLY WITH WRITTEN AUTHORIZATION FROM ATLANTIC ENVIRONMENTAL SYSTEMS, INC. ANY REPRODUCTION, IN WHOLE OR IN PART, MUST CLEARLY SHOW THE ATLANTIC ENVIRONMENTAL NAME AND ADDRESS IN THE REPRODUCTION.

# MOPS PUMP STATION SCHEDULE

| MOPS SERIES  |          | ITEM DESCRIPTION                                  |         |  |
|--|----------|---|---------|--|
| INITIAL DESIGN FLOW (G.P.M.)                           | 22       | 100 YEAR FLOOD ELEVATION                          | 6.50'   |  |
| INITIAL DESIGN HEAD (T.D.H.)                           | 54'      | 25 YEAR FLOOD ELEVATION                           | 4.75    |  |
| SECONDARY DESIGN FLOW (G.P.M.)                         | 38       | A GRADE ELEVATION                                 | 6.00'   |  |
| SECONDARY DESIGN HEAD (T.D.H.)                         | 27'      | B TOP ELEVATION OF WET WELL                       | 6.00'   |  |
| RATED PERFORMANCE SPEED                                | 3450 RPM | C BOTTOM ELEVATION OF WET WELL                    | -4.00'  |  |
| RATED MOTOR HORSEPOWER                                 | 2.0      | D ALL PUMPS OFF ELEVATION                         | -2.30'  |  |
| SUBMERSIBLE PUMP TYPE (P-1,P-2)                        | GRINDER  | E LEAD PUMP ON ELEVATION                          | -1.50'  |  |
| PUMP MODEL NUMBER                                      | MOPS     | F LAG PUMP ON ELEVATION                           | -1.00'  |  |
| SERVICE ENTRANCE VOLTAGE                               | 208      | G HIGH ALARM ELEVATION                            | -0.50'  |  |
| SERVICE ENTRANCE PHASE                                 | 3        | H INSIDE DIAMETER OF WET-WELL                     | 48"     |  |
| CONTROL CENTER FULL LOAD AMPS                          | 23       | I OUTSIDE DIAMETER OF ANTI-FLOATATION RING        | 84"     |  |
| NEMA 3R PAINTED STEEL<br>DISCONNECT SWITCH, RATED AMPS | 30A      | J MINIMUM CUBIC FEET OF CONCRETE BALLAST (CU YDS) | 000/(0) |  |
| WET WELL SCOURER SYSTEM                                | N/A      | K INVERT PIPE DIAMETER                            | 8"      |  |
| REMOTE STATION MONITOR (TELEMETRY)                     | W/SA     | L FORCE MAIN DIAMETER                             | 2"      |  |
| ON-SITE GENERATOR SYSTEM                               | N/A      | M PRIMARY INVERT ELEVATION                        | 0.00'   |  |
|  |          | N SECONDARY INVERT ELEVATION                      | N/A     |  |

| MOPS EQUIPMENT IDENTIFICATION         | QTY. | MODEL DESIGNATION               |
|---------------------------------------|------|---------------------------------|
| MOPS PUMP STATION                     | 1    | B22-48120-C-2.0                 |
| MOPS VALVE BOX ASSEMBLY (VBA)         | 1    | VBA-22                          |
| MOPS ODOR/GAS SCRUBBER (OGS)          | 1    | OGS-B                           |
| MOPS R.P.Z. ASSEMBLY                  | 1    | 75                              |
| MOPS CONTROL CENTER                   | 1    | PSC-222-2.0                     |
| MOPS DISCONNECT SWITCH                | 1    | FDS-30-3-2-PS                   |
| MOPS CONTROL CENTER MOUNTING ASSEMBLY | 1    | CCMA-32AL                       |
| MOPS WET WELL SCOURER SYSTEM          | 0    | N/A                             |
| MOPS REMOTE STATION MONITOR           | 1    | PROVIDED WITH SERVICE AGREEMENT |
| 1st YEAR SERVICE/MAINTENANCE CONTRACT | 1    | LEVEL 1 WITH REMOTE MONITOR     |
| MOPS ON-SITE GENERATOR SYSTEM         | 0    | N/A                             |
| MOPS FIELD SERVICE WORK               | 1    | CONTROL INSTALLATION & START-UP |

# MOPS PUMP STATION COMPLIANCE NOTES:

THIS PUMP STATION DESIGN COMPLIES WITH THE FOLLOWING REQUIRED STANDARDS:

• STATE OF FLORIDA ENVIRONMENTAL PROTECTION STANDARDS

• FLORIDA ADMINISTRATIVE CODE (F.A.C.): 62-640.400- COLLECTION AND TRANSMISSION SYSTEMS

• NATIONAL ELECTRIC CODE (NEC) CLASS 1, DIVISION 1, GROUP D- HAZARDOUS LOCATIONS

• UNDERWRITER'S LABORATORIES (U.L.) 508A-MOTOR CONTROL CENTERS AND U.L. 698A-INSTRINSICALLY SAFE CONTROL CENTERS

RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES (1997 EDITION).

1. PUMPS ARE RATED BY FACTORY MUTUAL FOR CLASS 1, DIVISION 1, GROUP D ATMOSPHERES AS REQUIRED BY NEC.

2. THE CONTROL CENTER INCORPORATES INTRINSICALLY SAFE RELAYS AND IS LISTED TO UL 698A INTRINSICALLY SAFE FOR CLASS 1, DIVISION 1 ATMOSPHERES.

3. THE CONDUIT PROVIDED, ALONG WITH CONDUIT GAS—SEAL—OFFS, ARE RATED FOR CLASS 1, DIVISION 1

4. THE WASTEWATER PUMPS AND THE CONTROL CENTER INCORPORATE A MECHANICAL SEAL FAILURE DETECTION AND NOTIFICATION SYSTEM.

5. THE CONTROL CENTER INCLUDES EITHER A REMOTE TELEMETRY UNIT (RTU) OR A SELF-CHARGING, BACK-UP

ALARM SYSTEM TO OPERATE ON POWER FAILURE.

6. THE PUMP STATION INCORPORATES AN ODORLESS DESIGN WITH A SCRUBBER SYSTEM TO CONTROL TOXIC GASES AND ODORS FOR COMPLIANCE TO F.A.C. 62-604.400.

7. THE BOTTOM OF THE TOP RIM ELEVATION OF PUMP STATION MUST BE LOCATED AT A HIGHER ELEVATION

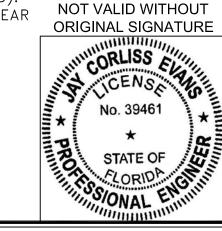
THAN THE 25 YEAR FLOOD ELEVATION. THE LISTED 25 YEAR FLOOD ELEVATION PROVIDED BY SITE CIVIL

8. THE BOTTOM ELEVATION OF THE MOPS CONTROL CENTER MUST BE LOCATED AT A HIGHER ELEVATION THAN THE 100 YEAR FLOOD ELEVATION. THE LISTED 100 YEAR FLOOD ELEVATION PROVIDED BY THE SITE CIVIL ENGINEER.

# MOPS ENGINEERING NOTES:

- AA. THE HORSEPOWER SHOWN ON THE SCHEDULE IS A MINIMUM HORSEPOWER REQUIREMENT BASED ON THE STATION'S DESIGN CRITERIA AND THE REQUIRE TORQUE. (LOWER RATED HORSEPOWER EQUIPMENT WILL NOT BE ACCEPTABLE.)
- BB. THESE ITEMS ARE NOT SUPPLIED BY A.E.S. WITH THE MOPS STATION. CC. INVERT ELEVATIONS BASED ON INSIDE BOTTOM OF PIPE.
- DD. THE MOPS CONTROL ASSEMBLY CONSISTS OF THE FOLLOWING: CONTROL CENTER DISCONNECT SWITCH, MOUNTING ASSEMBLY, ELECTRICAL CONDUITS, AND SEAL-OFF. THESE ITEMS MUST BE SUPPLIED AND INSTALLED BY THE MOPS PUMP STATION MANUFACTURER TO VALIDATE MOPS WARRANTY PROGRAM

EE. FOR STATIONS IN MIAMI-DADE COUNTY, THE MOPS PUMP STATION IS SUPPLIED WITH A REMOTE TELEMETRY MONITORING UNIT AND A.E.S. MAINTENANCE SERVICE. THE R.T.U. ALLOWS FOR MONITORING OF LAG ALARM, HIGH ALARM, AND POWER FAILURE PER CHAPTER 24.42.2(5). THE R.T.U. IS EQUIPPED WITH A BATTERY BACK UP AND IS INSTALLED ABOVE THE 100 YEAR FLOOD ELEVATION.



**ENGINEER'S SEAL** 

SHEET TITLE

PRIVATE LIFT STAION PLAN & DETAILS

HODIS! *METH BUIL* HORIZON UNITED JRCH - MISSION

NEW CHL SCALE: N.T.S. DATE: 05/24/18 DRAWN BY: BAM

SHEET No.

1*7032* 

REVISIONS

A. GENERAL:

ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY, UTILITY SERVICE PROVIDER, COUNTY DEPARTMENT ENVIRONMENTAL PROTECTION, COUNTY HEALTH DEPARTMENT, LOCAL WATER CONTROL DISTRICT, SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), AND ALL OTHER LOCAL AND NATIONAL CODES WHERE APPLICABLE.

B. CONSTRUCTION SAFETY:

ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL BE STRICTLY OBSERVED.

C. TRENCH SAFETY ACT:

- 1. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE STATE OF FLORIDA TRENCH
- 2. WHERE EXCAVATIONS TO A DEPTH IN EXCESS OF FIVE FEET (5') ARE REQUIRED THE CONTRACTOR SHALL INCLUDE THE FOLLOWING INFORMATION IN THE BID:
- a. REFERENCE TO THE SAFETY STANDARDS THAT WILL BE IN EFFECT DURING THE PERIOD OF CONSTRUCTION OF THE PROJECT.
- b. WRITTEN ASSURANCES BY THE CONTRACTOR PERFORMING THE TRENCH EXCAVATION THAT SUCH CONTRACTOR WILL COMPLY WITH THE APPLICABLE TRENCH SAFETY STANDARDS.
- c. A SEPARATE ITEM IDENTIFYING THE COST OF COMPLIANCE WITH THE APPLICABLE TRENCH SAFETY
- 3. WHERE A BID IS NOT SUBMITTED, THE CONTRACTOR SHALL SUBMIT THE INFORMATION LISTED IN ITEM 2, TO THE ENGINEER PRIOR TO STARTING WORK.

ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD).

II. PRECONSTRUCTION RESPONSIBILITY

- A. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE THE LOCAL MUNICIPALITY ENGINEERING DIVISION, THE UTILITY SERVICE PROVIDER, THE OWNER, AND THE ENGINEER OF RECORD, AFTER OBTAINING A CONSTRUCTION PERMIT FROM THE ENGINEERING
- B. THE CONTRACTOR SHALL OBTAIN A "SUNSHINE CERTIFICATION NUMBER" AT LEAST 48 HOURS PRIOR TO
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST LOCATIONS, SUNSHINE CERTIFICATION NUMBER. HE IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
- E. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER, WHO WILL IN TURN NOTIFY THE LOCAL MUNICIPALITY ENGINEERING DIVISION AND/OR THE UTILITY SERVICE PROVIDER.

III. INSPECTIONS

- A. THE CONTRACTOR SHALL NOTIFY THE LOCAL MUNICIPALITY ENGINEERING DIVISION, THE UTILITY SERVICE PROVIDER, THE LOCAL WATER CONTROL DISTRICT, AND THE ENGINEER OF RECORD AT LEAST 24 HOURS PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS:
- STORM DRAINAGE
- SANITARY SEWER.
- WATER SYSTEM.
- 4. SUBGRADE; SUBMIT AND HAVE APPROVED DENSITIES PRIOR TO PLACEMENT OF ROCK.
- 5. LIMEROCK BASE; SUBMIT AND HAVE APPROVED DENSITIES AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT.

6. ASPHALTIC CONCRETE.

- B. ALL INSPECTIONS MADE BY THE LOCAL MUNICIPALITY, THE UTILITY SERVICE PROVIDER, LOCAL WATER CONTROL DISTRICT, AND FDOT, THE ENGINEER OF RECORD WILL PROVIDE CONSTRUCTION OBSERVATION
- IV. SHOP DRAWINGS
- A. PRIOR TO ISSUANCE OF A CONSTRUCTION PERMIT, A MATERIAL LIST SHALL BE SUBMITTED TO AND REVIEWED BY THE ENGINEER OF RECORD AND THE UTILITY SERVICE PROVIDER FOR SANITARY MANHOLES, HYDRANTS, VALVES, PIPING, LIFT STATIONS AND OTHER ACCESSORIES. CATALOGUE LITERATURE SHALL BE SUBMITTED FOR WATER AND SEWER PIPES, FITTINGS AND APPURTENANCES.
- B. ANY PRODUCT THAT IS NOT ON THIS LIST MUST BE APPROVED IN ADVANCE BY THE ENGINEER OF RECORD AND THE UTILITY SERVICE PROVIDER. SUCH APPROVAL REQUIRES THE SUBMISSION OF A SHOP DRAWING (SIX COPIES) FOR EACH PRODUCT. SHOP DRAWINGS WILL ALSO BE REQUIRED FOR ALL NON-STANDARD
- C. INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. CATALOGUE LITERATURE WILL NOT BE ACCEPTED FOR PRECAST STRUCTURES.
- V. TEMPORARY FACILITIES
- A. TEMPORARY UTILITIES:
- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO HIS EMPLOYEE AND SUBCONTRACTORS FOR THEIR USE DURING CONSTRUCTION.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A WATER METER FROM THE UTILITY SERVICE PROVIDER, PAYING FOR ALL WATER USED FOR CONSTRUCTION AND PREVENTING USE OF UN-METERED WATER. NO WATER SERVICE OR FIRE HYDRANT SHALL BE USED UNTIL ACCEPTED AND APPROVED FOR SERVICE BY THE APPROPRIATE AGENCIES. WATER SERVICES SHALL BE LOCKED UNTIL METERS ARE SET. FIRE HYDRANTS SHALL BE COVERED AND TAGGED 'OUT OF SERVICE' UNTIL THE WATER SYSTEM IS APPROVED AND PRESSURIZED FOR SERVICE.
- B. TRAFFIC REGULATION:
- 1. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MUTCD
- 2. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- 3. NO TRENCHES OR HOLES NEAR WALKWAYS OR IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION OF THE LOCAL MUNICIPALITY.
- VI. PROJECT CLOSE OUT
- A. CLEANING UP:
- 1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEPT BROOM CLEAN.
- 2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED BY THE ENGINEER OR THE LOCAL MUNICIPALITY, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUBCONTRACTORS TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THIS END, THE CONTRACTOR SHALL DO AS REQUIRED, ALL NECESSARY HIGHWAY OR DRIVEWAY, SIDEWALK AND LANDSCAPING WORK. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
- 3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, GRAVITY SEWER, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
- 4. WHEN WORKING IN AND AROUND EXISTING DRAINAGE CANALS, APPROPRIATE SILT BARRIERS SHALL BE INSTALLED AS REQUIRED BY LOCAL WATER CONTROL DISTRICT.
- B. PROJECT RECORD DOCUMENTS:
- THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF ALL WORK ITEMS COMPLETED. 2. ALL REQUIRED DENSITY AND LBR TEST RESULTS FOR SUBGRADE SHALL BE PROVIDED TO AND APPROVED BY THE ENGINEER AND THE LOCAL MUNICIPALITY PRIOR TO THE PLACING THE LIMEROCK BASE MATERIAL.
- 3. ALL REQUIRED DENSITY AND LBR TEST RESULTS FOR LIMEROCK SHALL BE PROVIDED TO AND APPROVED
- BY THE ENGINEER AND THE LOCAL MUNICIPALITY PRIOR TO PLACING ASPHALT. 4. PRIOR TO PLACEMENT OF ANY ASPHALT OR CONCRETE PAVEMENT, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER "AS-BUILT" PLANS SHOWING LIMEROCK BASE GRADES AND ALL DRAINAGE, WATER, AND
- SEWER IMPROVEMENTS. PAVING OPERATIONS SHALL NOT COMMENCE UNTIL THE ENGINEER AND THE LOCAL MUNICIPALITY HAVE REVIEWED AND APPROVED THE "AS-BUILTS".

- 5. ALL "AS-BUILT" INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDED IS A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
- 6. "AS-BUILT" INFORMATION ON THE WATER SYSTEM SHALL INCLUDE, BUT IS NOT LIMITED TO LOCATIONS OF ALL VALVES, FITTINGS, FIRE HYDRANTS AND WATER SERVICES AND TOP-OF-PIPE ELEVATION ON
- 7. ALL "AS-BUILT" INFORMATION ON ELEVATIONS, STATIONING OFFSETS AND TIES OF THE WATER, SANITARY SEWER, PAVING AND DRAINAGE SHALL BE CERTIFIED BY A REGISTERED LAND SURVEYOR.
- 8. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF "AS-BUILT" CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS AND SHALL BE SIGNED BY THE CONTRACTOR.
- 9. PRIOR TO A FINAL INSPECTION BY THE LOCAL MUNICIPALITY, THE ENGINEER SHALL SUBMIT TWO (2) SETS OF BLUEPRINTS OF "AS-BUILT" CONSTRUCTION DRAWINGS.
- 10. THE FOLLOWING SUBMITTALS TO THE LOCAL MUNICIPALITY ARE REQUIRED AFTER THE PROJECT IS COMPLETED AND APPROVED BY THE MUNICIPALITY'S ENGINEER:
- a. TWO (2) COMPLETE "AS-BUILT" SETS OF BLUEPRINTS SIGNED AND SEALED BY A REGISTERED LAND SURVEYOR AND THE ENGINEER.
- b. ONE (1) COMPLETE "AS-BUILT" SET OF MYLAR.
- c. ONE (1) "AS-BUILT" CD IN AUTOCAD.
- VII. WATER DISTRIBUTION AND/OR SEWAGE FORCE MAIN SYSTEM

1. THE CONTRACTOR SHALL NOTIFY THE UTILITY SERVICE PROVIDER AND THE ENGINEER OF RECORD NO LATER THAN 24 HOUR PRIOR TO MAKING CONNECTIONS TO EXISTING SYSTEMS. A REPRESENTATIVE FROM THE UTILITY SERVICE PROVIDER AND THE ENGINEER OF RECORD MUST BOTH BE PRESENT.

2. SEPARATION OF WATER AND SEWER MAINS:

- g. PARALLEL WATER AND SEWER MAINS SHALL HAVE A MINIMUM 10 FEET HORIZONTAL SEPARATION. WHERE THIS IS NOT POSSIBLE, THE SEWER MAIN SHALL BE IN A SEPARATE TRENCH AND BE AT LEAST 18 INCHES BELOW THE WATER MAIN OR BOTH MAINS SHALL BE DUCTILE IRON WITH A MINIMUM 12' CLEARANCE, PER PRESSURE PIPE SPECIFICATIONS.
- b. THE SEWER MAIN SHALL CROSS BELOW ALL WATER MAINS WITH A MINIMUM OF 18 INCHES VERTICAL CLEARANCE. WHERE THE CLEARANCE IS LESS THAN 18 INCHES, THE SEWER MAIN AND THE WATER MAIN SHALL BE DUCTILE IRON PIPE, WITH A MINIMUM 12" CLEARANCE, FOR 20 FEET CENTERED ON THE POINT OF CROSSING. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING SHALL BE MECHANICALLY RESTRAINED.
- c. IF A SEWER MAIN MUST CROSS ABOVE A WATER MAIN, REGARDLESS OF VERTICAL CLEARANCE, THE PRECAUTION IN ITEM (b.) ABOVE SHALL BE TAKEN.
- 3. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS FOR THE WATER MAINS AND SEWER FORCE MAINS, AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE UTILITY SERVICE PROVIDER AND THE COUNTY HEALTH DEPARTMENT.
- 4. CLEANING OF NEWLY INSTALLED PIPING SYSTEMS SHALL BE ACCOMPLISHED USING PIPE PIGGING METHODS. OPEN FLUSHING SHALL NOT BE ALLOWED WITHOUT PRIOR APPROVAL OF THE UTILITIES DEPARTMENT. ALL WATER WILL BE ACCOUNTED FOR.
- 5. ALL EFFORTS SHALL BE MADE SO THAT WATER AND FORCE MAINS CROSS ABOVE DRAINAGE LINES WITH ADEQUATE COVER AND SEPARATION. IF THIS IS NOT POSSIBLE, IT SHALL BE INDICATED ON THE PLANS.
- 6. A THREE (3) FOOT LATERAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER/SEWER LINES AND OBSTRUCTIONS (I.E., CATCH BASINS, CONCRETE POLES, ETC.), FIVE (5) FEET FROM TREES.
- 7. THE MAXIMUM DEPTH TO THE BOTTOM OF THE PRESSURE MAIN INSTALLED SHALL NOT EXCEED SIX (6)
- FEET UNLESS APPROVED BY THE UTILITY SERVICE PROVIDER UTILITIES DEPARTMENT. 8. ALL WATER DISTRIBUTION AND SEWER COLLECTION RELATED WORK AND INSPECTIONS WILL BE INSPECTED
- AND APPROVED BY THE UTILITY SERVICE PROVIDER UTILITIES DEPARTMENT. 9. WATER MAIN INSTALLATION SHALL MEET THE COLOR CODING REQUIREMENTS OF 62-555.320 (FAC).
- B. MATERIAL:

THE WATER MAIN AND/OR SEWAGE FORCE MAIN SHALL BE EITHER POLYVINYL CHLORIDE (PVC) OR DUCTILE IRON PIPE (DIP) AND SHALL BE DESIGNED FOR A MINIMUM WORKING PRESSURE OF 150 PSI.

- a. PVC PIPE SHALL BE ASTM 1120 PRESSURE PIPE WITH IRON O.D., CLASS 150 (DR 18), CONFORMING TO ANSI/AWWA C900-97 OR C905-97 AND SHALL HAVE PUSH RUBBER GASKET JOINTS.
- b. DIP SHALL BE CLASS 350 WALL THICKNESS (UP TO 12"), CLASS 300 (14"-18"), CLASS 250 (20" OR GREATER) WITH INTERIOR CEMENT LINING AND EXTERIOR COAL TAR COATING CONFORMING 1 ANSI/AWWA C151/A21.51-02, OR LATEST REVISION. SEWAGE PIPE SHALL BE EITHER DOUBLE CEMENT CONFORMING TO ANSI/AWWA C104/A21.4-03 OR LATEST REVISION, OR EPOXY LINED CONFORMING TO ANSI/AWWA C105/A21.5-05 OR LATEST REVISION, OR APPROVED EQUAL. THE PIPE SHALL WITHSTAND A WORKING PRESSURE OF 350 PSI. THE JOINTS SHALL BE BELL AND SPIGOT PUSH ON TYPE, MECHANICAL JOINT OR FLANGED. FLANGED PIPE SHALL CONFORM WITH THE PHYSICAL AND CHEMICAL REQUIREMENTS AS SET FORTH IN THE HANDBOOK OF DUCTILE IRON PIPE OF THE CAST IRON PIPE RESEARCH ASSOCIATION. ALL DIP FORCE MAIN SHALL BE EPOXY LINED.

FITTINGS SHALL BE DUCTILE IRON COMPACT MECHANICAL JOINT AND SHALL BE CLASS 350 THROUGH 24" CONFORMING TO ANSI/AWWA C153/A21.53-00, OR LATEST REVISION, AND CLASS 250 IN SIZES 24" AND LARGER, CONFORMING TO ANSI/AWWA C110/A21.10-03, OR LATEST REVISION, COMPLETE WITH GLANDS, GASKETS, BOLTS AND NUTS. ALL FITTINGS SHALL BE CEMENT LINED AND SEAL COATED WITH THE SAME AS PIPE.

3. VALVES:

- a. VALVES SHALL BE GATE VALVES FOR WATER (4"-12" SIZE), BUTTERFLY VALVES FOR WATER (16" AND UP SIZE), OR PLUG VALVES FOR FORCE MAIN (ALL SIZES).
- i. GATE VALVES SHALL BE IRON BODY, FULLY RESILIENT SEAT, BRONZE MOUNTED NON-RISING STEM, DOUBLE DISC, RATED AT 200 PSI AND CONFORMING TO ANSI/AWWA C509-01 OR LATEST REVISION. EXPOSED VALVES SHALL BE OUTSIDE.
- ii. BUTTERFLY VALVES AND OPERATORS SHALL CONFORM TO ANSI/AWWA C504-00 STANDARD FOR RUBBER SEATED BUTTERFLY VALVES, OR LATEST REVISIONS. VÁLVES SHALL BE CLASS 150 A OR B.
- iii. PLUG VALVES SHALL BE SEMI-STEEL BODY, NON-LUBRICATED, ECCENTRIC TYPE, WITH RESILIENT FACED PLUGS, AND CAPABLE OF DRIP-TIGHT SHUT OFF AT THE RATED PRESSURE IF APPLIED AT EITHER PORT. VALVES ARE TO BE EQUIPPED WITH ACTUATING NUTS, CAST IRON HANDWHEELS OR CHAIN OPERATORS, WITH GALVANIZED STEEL CHAINS, AS APPROPRIATE FOR THE INSTALLATION AND TYPE OF OPERATOR
- b. AIR RELEASE VALVES
- i. SEWER FORCE MAIN AIR RELEASE VALVES SYSTEM SHALL BE A COMBINATION OF ONE SEWAGE AIR RELEASE VALVE AND ONE SEWAGE AIR/VACUUM VALVE WITH DUAL ISOLATION PLUG VALVES. BOTH VALVE BODIES AND COVERS SHALL BE OF CAST IRON CONSTRUCTION, ASTM A126-B. AL INTERNAL PARTS SHALL BE STAINLESS STEEL, ASTM A-240 TYPE 304 AND ASTM A276 TYPE 303. THE VENTING ORIFICE SHALL BE 5/16" IN DIAMETER WITH STAINLESS STEEL SEAT. THE INLET OPENINGS SHALL BE A MINIMUM OF 2" NPT SCREWED CONNECTION FOR BOTH VALVES. THE VALVES SHALL FULLY CAPABLE OF OPERATION IN SEWAGE FORCE MAIN. BOTH VALVES SHALL INCLUDE A BACK-FLUSHING FEATURE FOR PERIODIC CLEANING OF THE INTERNAL MECHANISM. THE OVERALL HEIGHT SHALL NOT EXCEED 22-1/2 INCHES.
- ii. WATER MAIN AIR RELEASE VALVES VALVE BODY AND COVER SHALL BE OF CAST IRON CONSTRUCTION, ASTM A126-B, ALL INTERNAL WORKING PARTS SHALL BE OF STAINLESS STEEL ASTM A240, TYPE 303 FOR THE FLOAT AND ASTM A296 TYPE 316 FOR THE LINKAGE. THE VENTING ORIFICE SHALL BE 3/16' IN DIAMETER WITH BRASS SEAT. THE INLET OPENING SHALL BE A 2" NPT SCREWED CONNECTION. THE OVERALL HEIGHT SHALL NOT EXCEED 13 INCHES.
- c. A REFLECTIVE PAVEMENT MARKER SHALL BE INSTALLED IN THE CENTER OF THE NEAREST LANE OF ROAD PAVEMENT ADJACENT TO ALL VALVE LOCATIONS OUTSIDE THE ROAD PAVEMENT. WATER MARKERS SHALL BE WHITE, SEWER MARKERS SHALL BE GREEN.

- a. FIRE HYDRANTS SHALL HAVE A MINIMUM 5 1/4" VALVE OPENING AND SHALL OPEN AGAINST THE PRESSURE AND CLOSE WITH THE FLOW. HYDRANTS SHALL MEET OR EXCEED ANSI/AWWA C502-05. C503-05 OR LATEST REVISION, AND SHALL COMPLY WITH FACTORY MUTUAL RESEARCH CORPORATION AND UNDERWRITERS LABORATORIES UL246 STANDARD.
- b. ALL FIRE HYDRANTS ARE TO BE INSTALLED WITHIN SIX FEET (6') FROM THE OUTSIDE CURB LINE OR EDGE OF THE PAVEMENT.
- c. ALL STREAMER 4-1/2" CONNECTION SHALL FACE THE ROADWAY, AND NOT THE PARKING SPACES.
- d. ALL FIRE HYDRANTS SHALL BE ERECTED SO AS TO HAVE THE CENTER OF THE STEAMER CONNECTION A MINIMUM OF 18" ABOVE THE CROWN OF THE NEAREST ROADWAY, OR 18" ABOVE SURROUNDING
- e. VISIBILITY AND ACCESS TO FIRE HYDRANTS: NO FIRE HYDRANT(S) SHALL BE SUBSTANTIALLY OBSCURED FROM THE ADJACENT ROADWAY OR ACCESS WAY BY PLANTINGS, WALLS, OR OTHER VISUAL SCREENING WITHIN SEVEN AND ONE-HALF FEET (7.5') OF THE REAR AND SIDES, AND NO OBSTRUCTIONS IN FRONT OF THE FIRE HYDRANT(S).

- f. ONE OR MORE BLUE DOUBLE REFLECTIVE D.O.T. TYPE ROAD MARKER ARE TO BE ADHERED TO THE HARD SURFACE ROADWAY IN THE MIDDLE OF THE LANE NEAREST TO AND DIRECTLY IN FRONT OF NEWLY INSTALLED FIRE HYDRANT. (TWO (2) REFLECTORS ON CORNER HYDRANT AND FOR EACH
- g. ALL FIRE HYDRANTS ARE TO BE PAINTED YELLOW. (RUSTOLEUM #944 SAFETY YELLOW OR APPROVED
- h. ALL FIRE HYDRANTS THAT ARE NOT IN SERVICE (NOT ABLE TO FLOW WATER), SHALL BE COVERED WITH A PLASTIC BAG, AND THE BAG IS TO BE SECURED TO THE HYDRANT WITH TAPE.
- i. (LOCATION APPROVAL REQUIRED BY FIRE DEPARTMENT) SIAMESE FIRE DEPARTMENT CONNECTION SHALL BE FREE STANDING WITHIN TWENTY-FIVE FEET (25') OF NEAREST FIRE HYDRANT, WITHIN SIX FEET (6') FROM OUTSIDE CURB OR EDGE OF PAVEMENT. `THÉRE SHALL BE A SPACE, FOUR FEET (4') ON BÒTH SIDES OF THE CENTER LINE OF THE SIAMESE THAT MUST BE KEPT OPEN AT ALL TIMES, AND POSTED "NO PARKING, FIRE DEPARTMENT CONNECTION", THIRTY—SIX INCHES HIGH.
- j. HYDRANT PERMIT SHALL BE PULLED AT THE FIRE DEPARTMENT. \$25.00 PERMIT FEE PLUS \$25.00 PFR HYDRANT.
- k. ALL FIRE HYDRANTS ARE TO BE FLOW TESTED BY THE FIRE DEPARTMENT UPON ACCEPTANCE OF SYSTEM BY THE UTILITIES DEPARTMENT. HYDRANTS SHALL BE COMPLETED AND ACCEPTED PRIOR TO THE START OF ANY STRUCTURAL CONSTRUCTION ON SITE.

# 5. DETECTOR TAPE:

- a. DETECTOR TAPE SHALL BE 3" WIDE BLUE TAPE FOR WATER MAIN AND BROWN TAPE FOR FORCE MAIN, WITH A METALLIZED FOIL CORE LAMINATED BETWEEN 2 LAYERS OF PLASTIC FILM. THE WORDS "CAUTION WATER LINE BURIED BELOW" OR "CAUTION FORCE MAIN BURIED BELOW" SHALL BE PRINTED AT 30" INTERVALS ALONG THE TAPE. TAPE SHALL BE PLACED 18" BELOW GRADE ABOVE ALL PVC MAINS AND SERVICES OR AS RECOMMENDED BY MANUFACTURER. NONMETALLIC TAPE SHALL BE USED ABOVE DUCTILE IRON PIPE.
- b. LOCATOR WIRE 14-STRAND COLOR CODED SHALL BE USED IN CONJUNCTION WITH LOCATOR TAPE AND SHALL BE AFFIXED TO PIPE.

# 6. SERVICE CONNECTIONS:

- a. SERVICE SADDLES SHALL BE DUCTILE IRON EPOXY OR NYLON COATED WITH DOUBLE STAINLESS STEEL STRAPS OR SINGLE WIDE STRAP. SADDLES SHALL CONFORM TO ANSI/AWWA C111/21.11-00 AND ASTM A-588 OR LATEST REVISION.
- b. SERVICE LINES SHALL BE POLYETHYLENE (PE) TUBING AS DESCRIBED IN ANSI/AWWA C901-02 OR LATEST REVISION, WITH A WORKING PRESSURE OF 200 PSI (DR 9). PIPE JOINTS SHALL BE OF THE COMPRESSION TYPE TOTALLY CONFINED GRIP SEAL AND COUPLING NUT. POLYETHYLENE SHALL BE EXTRUDED FROM PE 3408 HIGH MOLECULAR WEIGHT MATERIAL AND MUST CONFORM TO ASTM D-2737. WATER SERVICE 2" AND UNDER SHALL BE PE AND SLEEVED UNDER ROADWAY WITH 4"
- c. CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE ASTM B-62 WITH
- d. METER STOPS SHALL BE THE 90 DEGREE LOCKWING TYPE AND SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM B-62. METER STOPS SHALL BE CLOSED BUTTON DESIGN AND RESILIENT "O" RING SEALED AGAINST EXTERNAL LEAKAGE AT THE TOP. STOPS SHALL BE EQUIPPED WITH A METER COUPLING NUT ON THE OUTLET SIDES.
- e. METER AND METER BOXES 2" OR LESS ARE SUPPLIED BY THE UTILITY SERVICE PROVIDER AT THE
- 7. TAPPING SLEEVES:

TAPPING SLEEVES SHALL BE DUCTILE IRON, ASTM GRADE 65-45-12.

- a. VALVE BOXES FOR WATER MAINS AND SEWER FORCE MAINS SHALL BE ADJUSTABLE SCREW TYPE WITH 5-1/4" SHAFT, 18 TO 24 INCH EXTENSION, CAST IRON ASTM-A48 CLASS 30 MARKED WATER OR
- b. VALVE BOXES FOR BLOW-OFF ASSEMBLY SHALL BE CAST IRON ASTM A-48 CLASS 30 MARKED "W".
- RETAINER GLANDS SHALL CONFORM TO ANSI/AWWA C111/A21.11-00 OR LATEST REVISION. ALL GLANDS

MINIMUM WATER PRESSURE RATING. 10. DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY: THE ASSEMBLY SHALL CONFORM TO ANSI/AWWA C510-00, OR LATEST REVISION, AND CAPABLE OF

WITHSTANDING A WORKING PRESSURE OF AT LEAST 150 PSI WITHOUT DAMAGE TO WORKING PARTS OR

IMPAIRMENT OF FUNCTION. IT SHALL CONSIST OF TWO INTERNALLY LOADED, INDEPENDENTLY OPERATING

SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI

CHECK VALVES, LOCATED BETWEEN TWO TIGHTLY CLOSING RESILIENT-SEATED SHUT OFF VALVES, WITH FOUR PROPERLY PLACED RESILIENT-SEATED TEST COCKS.

11. RESTRAINTS: RESTRAINTS SHALL BE MEGA-LUG.

C. INSTALLATION:

- GENERAL: CONNECTION OF ALL NEW SYSTEMS TO EXISTING MAINS SHALL BE DONE USING ONE OF THE THREE
- FOLLOWING METHODS: a. METHOD "A" PER COUNTY PUBLIC HEALTH UNIT STANDARDS, WHICH INVOLVES A REDUCED SIZE
- TEMPORARY CONNECTION BETWEEN THE EXISTING MAIN AND THE NEW MAIN. b. METHOD "B" PER COUNTY PUBLIC HEALTH UNIT STANDARDS, WHICH INVOLVES A DIRECT CONNECTION BETWEEN THE NEW AND EXISTING MAINS USING TWO GATE VALVES SEPARATED BY A SLEEVE WITH A
- c. METHOD "C" APPROVED BY THE COUNTY PUBLIC HEALTH UNIT, WHICH INVOLVES A TAP WITH ONE GATE VALVE REQUIRING DISINFECTION OF THE NEW SYSTEM PRIOR TO CONDUCTING THE PRESSURE

# BEDDING:

BEDDING AND INITIAL BACKFILL (12 INCHES ABOVE PIPE) FOR ALL PIPES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEAROCK OR 3/4" WASHED ROCK WILL BE IN WATER OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF THE UTILITY SERVICE PROVIDER. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.

# 3. PVC PIPE:

- a. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE PLASTIC PIPE ASSOCIATION'S GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION
- b. PVC PIPE SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER.
- c. DETECTOR TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL PVC MAINS APPROXIMATELY 18" BELOW GRADE, COLOR SIDE UP.

- a. DIP SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-05 OR LATEST REVISION.
- b. DIP SHALL BE INSTALLED WITH A MINIMUM OF 30" COVER.

REFLECTORS FOR FORCE MAIN VALVES.

- c. IDENTIFICATION TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL DIP MAINS APPROXIMATELY 18" ABOVE THE MAIN, COLOR SIDE UP.
- a. ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE WORD "WATER" OR "SEWER" CAST IN THE COVER.
- b. MAIN VALVES SHALL BE LOCATED ON AN EXTENSION OF THE RIGHT-OF-WAY LINE UNLESS
- c. MAIN VALVES SHALL BE INSTALLED AWAY FROM PARKING AREAS. IF THIS IS UNAVOIDABLE, PROPER MEASURES SHALL BE TAKEN TO AVOID THE PARKING OF VEHICLES OVER THE VALVES. HYDRANT VALVES SHALL BE INSTALLED AS CLOSE TO THE MAIN AS POSSIBLE. VALVES LOCATED IN NON-PAVED AREAS OR IN PARKING STALLS REQUIRE A REFLECTIVE PAVEMENT MARKER ON THE CENTER OF THE NEAREST LANE OF ROAD PAVEMENT. WHITE REFLECTORS FOR WATER MAIN VALVES, GREEN
- d. THE DISTANCE FROM THE TOP OF THE VALVE ACTUATOR NUT TO FINAL GRADE SHALL BE A MINIMUM OF 12 INCHES AND A MAXIMUM OF 18 INCHES.
- a. COVER OVER SERVICE LINES SHALL BE 18 INCHES MINIMUM, 24 INCHES MAXIMUM BELOW FINISHED GRADE AND 24 INCHES UNDER PAVEMENT. b. POLYETHYLENE SHALL BE BEDDED IN BACKFILL OF SAND WITH NO ROCK GREATER THAN 1 INCH IN

- c. METER STOPS SHALL HAVE 8 INCHES TO 10 INCHES COVER OR AS REQUIRED FOR PROPER METER/BOX INSTALLATION.
- d. WATER SERVICES UNDER PAVEMENT SHALL BE ENCASED IN A SCHEDULE 80 PVC SLEEVE FOR THE FULL LENGTH OF THE PAVEMENT AND FOR 2 FEET BEYOND THE EDGE.
- e. THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2" x 4" TREATED STAKE, PAINTED BLUE, EXTENDING 18 INCHES (MINIMUM) ABOVE GRADE UNLESS INDICATED OTHERWISE.

1. THE PHYSICAL CONNECTION OF THE NEW SYSTEM TO THE EXISTING SYSTEM SHALL BE DONE IN ACCORDANCE WITH SECTION "C.-1". (THIS DOCUMENT) WHICH WILL DICTATE THE ORDER OF THE PRESSURE TESTING AND DISINFECTION

2. THE COMPLETE WATER SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED. THE PRESSURE TEST SHALL BE FOR TWO HOURS AT 150 PSI MINIMUM TEST PRESSURE IN ACCORDANCE WITH ANSI/AWWA C600-05 OR LATEST REVISION. THE PRESSURE TEST SHALL NOT VARY MORE THAN 5 PSI DURING THE TEST. TEST MUST BE PERFORMED USING 2 POUND PSI GAUGE; 5 POUND PSI GAUGES WILL NOT BE PERMITTED. LEAKAGE ALLOWANCES WILL NOT BE MADE FOR FITTINGS OR VALVES.

3. ALLOWABLE LEAKAGE SHALL NOT EXCEED THE FORMULA OF:

L (GALLONS PER HOUR) =  $\frac{S D (P)^{0.5}}{148,000}$ 

- L = ALLOWABLE LEAKAGE IN GALS/HR (NO ALLOWABLE LEAKAGE FOR VALVES) S = LENGTH OF PIPE TESTED IN FEET
- D = NOMINAL DIAMETER OF PIPE P = AVERAGE TEST PRESSURE DURING TEST IN LBS/SQ. IN.
- 4. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE UTILITY SERVICE PROVIDER UTILITIES DEPARTMENT AND THE ENGINEER OF RECORD.
- 5. SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE COUNTY HEALTH DEPARTMENT. IF NOT SPECIFIED, SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF 1200 FEET MAXIMUM FOR LINES GREATER THAN 1200 FEET IN LENGTH. PROVIDE A MINIMUM OF TWO SAMPLING POINTS FOR ALL OTHER TEST SEGMENTS.
- 6. BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH ANSI/AWWA C651-05 OR LATEST REVISION WITH APPROVED BACTERIOLOGICAL SAMPLES AND PROPER DOCUMENTATION BY THE COUNTY HEALTH DEPARTMENT. COLLECTION OF SAMPLES IS THE CONTRACTOR'S RESPONSIBILITY AND WILL BE WITNESSED BY A UTILITY SERVICE PROVIDER UTILITIES DEPARTMENT REPRESENTATIVE.

VIII. GRAVITY SEWAGE COLLECTION SYSTEM

# A. MATERIALS:

SEWER PIPE AND FITTINGS:

- a. PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE PIPE CONFORMING TO ASTM D-3034, SDR 35, WITH PUSH-ON RUBBER GASKET JOINTS UNLESS OTHERWISE NOTED.
- b. DUCTILE IRON PIPE (DIP) SHALL BE DOUBLE CEMENT CONFORMING TO ANSI/AWWA C104/A21.4-95, OR LATEST REVISION, OR EPOXY LINED INSIDE CONFORMING TO ANSI/AWWA C105/A21.5-93, OR APPROVED EQUAL AND SHALL HAVE A COAL TAR EPOXY COATING, MANUFACTURED IN ACCORDANCE TO ANSI/AWWA C151/A21.51-96, OR LATEST REVISION, MINIMUM WALL THICKNESS CLASS 350 (UNLESS OTHERWISE SPECIFIED).
- c. ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER.
- a. MANHOLES SHALL BE PRECAST PER ASTM C-478 TYPE II WITH 4000 PSI CONCRETE AND GRADE 40 STEEL. MONOLITHICALLY POURED BASES ONLY.
- b. MANHOLE OPENINGS ARE TO BE SEALED WITH ANTI-HYDRO CEMENT OR APPROVED EQUAL. NO MOLDING PLASTER WILL BE ALLOWED. c. MANHOLE JOINTS SHALL BE SEALED WITH "RAMNEK" GASKETS OR APPROVED EQUAL AND WITH
- ANTI-HYDRO CEMENT ON THE INSIDE AND OUTSIDE.

C. TESTING:

- B. INSTALLATION
- a. SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D-2321, AND THE UNI-BELL PLASTIC PIPE ASSOCIATION'S "RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE".
- b. DIP SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-99, OR LATEST REVISION. c. BEDDING AND INITIAL BACKFILL 12 INCHES OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH

NO ROCK LARGER THAN 1 INCH IN DIAMETER. PEAROCK OR 3/4" WASHED ROCK WILL BE USED IN

- WATER OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF THE UTIL PROVIDER. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6 INCH IN DIAMETER.
- d. PIPE CONNECTION INTO MANHOLE WALL SHALL BE DUCTILE IRON PIPE, GROUTED IN PLACE, OR CAST-IN NEOPRENE RUBBER BOOT, OR EQUAL AS APPROVED BY THE UTILITY SERVICE PROVIDER. e. GRAVITY SEWER MAINS INSTALLED DEEPER THAN TWELVE (12) FEET SHALL BE D.I.P. AND SHALL BE

INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-99 OR LATEST REVISION.

- a. MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE ON FIRM CLEAN SUBGRADE PROVIDING UNIFORM BEARING UNDER THE BASE.
- b. ALL OPENINGS AND JOINTS SHALL BE SEALED WATER-TIGHT. c. THE MANHOLES REQUIRE INTERIOR MAINSTAY COATING, 1/2-INCH MINIMUM, SPRAY APPLICATION OF MAINSTAY ML-72, MICROSILICA CEMENT MORTAR, OR APPROVED EQUAL, A MINIMUM APPLICATION OF
- 100 MIL, SPRAY APPLICATION OF MAINSTAY DS-5, ULTRA HIGH BUILD EPOXY COATING, OR APPROVED d. MANHOLES SHALL BE INSTALLED AWAY FROM PARKING AREAS ON THE CENTERLINE OF THE ROADWAY. IF THIS IS UNAVOIDABLE, PROPER MEASURES SHALL BE TAKEN TO PROHIBIT THE PARKING OF
- VEHICLES OVER MANHOLES. e. ORANGE REFLECTIVE PAVEMENT MARKERS SHALL BE PROVIDED ON THE CENTER OF THE NEAREST
- LANE OF ROAD PAVEMENT ADJACENT TO ALL MANHOLE LOCATIONS OUTSIDE THE ROAD PAVEMENT. f. ALL LIDS SHALL BE PROVIDED WITH A POLYETHYLENE WATER TIGHT MANHOLE INSERT.
- SERVICE: a. MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE AS INDICATED IN THE "FLORIDA BUILDING CODE".
- SERVICE LATERALS SHALL TERMINATE AT A DEPTH 30" BELOW FINISHED GRADE. c. EACH SERVICE CONNECTION SHALL BE PLUGGED WATERTIGHT WITH AN APPROVED PLUG.
- RED, EXTENDING 18 INCHES (MINIMUM) ABOVE GRADE. e. CONTRACTOR SHALL ROUGH IN RISER TO 1 FOOT ABOVE FINISHED GRADE AND PLUG. AT PROJECT COMPLETION, CUT BACK TO FINISHED GRADE.

d. THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2" x 4" TREATED STAKE PAINTED

- f. CONNECTION OF SERVICES TO BUILDING'S PLUMBING SHALL BE COORDINATED WITH THE CITY'S BUILDING AND ZONING DEPARTMENT, PLUMBING SECTION. g. ALL CLEANOUTS IN ROADWAY MUST BE INSTALLED IN BOXES MARKED SEWER.
- 1. AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENTIRE SYSTEM SHALL BE LAMPED. SEWER LAMPING SHALL BE WITNESSED BY THE ENGINEER OF RECORD AND A REPRESENTATIVE FROM THE UTILITY SERVICE PROVIDER.
- 2. AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE UTILITY SERVICE PROVIDER OR THE ENGINEER OF RECORD MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART

3. AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON

APPROVAL OF THE UTILITY SERVICE PROVIDER. 4. MANHOLE EXFILTRATION LEAKAGE SHALL NOT EXCEED 4 GALLONS PER DAY PER UNIT.

5. SEWER PIPE EXFILTRATION LEAKAGE SHALL NOT EXCEED 10 GALLONS PER DAY PER

INCH DIAMETER PER MILE IN A TWO HOUR TEST PERIOD FOR ANY SECTION TESTED. 6. VISIBLE MANHOLE AND SEWER PIPE INFILTRATION LEAKAGE SHALL NOT BE PERMITTED.

7. SANITARY SEWER SHALL BE TELEVISED, AT DEVELOPER'S EXPENSE, PRIOR TO FINAL APPROVAL OF CONSTRUCTION. VIDEO TAPE AND REPORT SHALL BE EXAMINED BY THE LOCAL MUNICIPALITY. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING OF ANY DEFICIENCIES PRIOR TO THE ENGINEER OF RECORD'S CERTIFICATION OF COMPLETION TO ANY AGENCY.

SHEET TITLE

**GENERAL NOTES AND SPECIFICATIONS** 

CORIDA

**ENGINEER'S SEAL** NOT VALID WITHOUT **ORIGINAL SIGNATURE** STATE OF

CORLISS EVA CENS No. 39461

SHEET No.

ME 92

REVISIONS

SCALE: N.T.S DATE: 05/24/ DRAWN BY: BAM

1. SCOPE OF WORK FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS REQUIRED AND INSTALL, PLACE IN OPERATION, AND FIELD TEST A TELEMETRY CONTROLLED WET WELL MOUNTED WASTEWATER PUMPING STATION AND A EMERGENCY GENERATOR OR BYPASS PUMP TO PROVIDE EMERGENCY SERVICE TO THE PUMP STATION. THE STATION SHALL BE COMPLETE WITH PUMPS, MOTORS, PIPING, VALVES, TELEMETRY, ELECTRICAL WORK (INCLUDING MOTOR CONTROLS), STRUCTURES OR CONNECTION AND APPURTENÁNCES, TESTED AND READY FOR SERVICE. THE GÉNERATOR OR PUMP SHALL BE TRAILER MOUNTED, DIESEL POWERED SIZED TO MAINTAIN THE PUMP STATION FLOW. REFER TO PLANS FOR OTHER SITE FEATURES.

# 2. DESCRIPTION OF SYSTEM:

- a. THE CONTRACTOR SHALL FURNISH AND INSTALL ONE FACTORY BUILT, AUTOMATIC PUMPING STATION THE STATION SHALL BE COMPLETE WITH ALL NEEDED EQUIPMENT, FACTORY-INSTALLED ON A WELDED STEEL BASE WITH FIBERGLASS COVER.
- b. THE PRINCIPAL ITEMS OF EQUIPMENT SHALL INCLUDE TWO VERTICAL, CLOSE—COUPLED, MOTOR DRIVEN, VACUUM PRIMED, NON—CLOG SEWAGE PUMPS; VALVES; INTERNAL PIPING; CENTRAL CONTROL PANEL WITH CIRCUIT BREAKERS; MOTOR STARTERS AND AUTOMATIC PUMPING LEVEL CONTROLS; HEATER; VENTILATING BLOWER; PRIMING PUMPS AND APPURTENANCES; AND ALL INTERNAL WIRING.
- c. REFER TO PLANS FOR A COMPLETE LIST OF OPERATING CONDITIONS.
- d. THE PUMPING STATION SHALL PUMP RAW, UNSCREENED, DOMESTIC WASTEWATER INTO A FORCE MAIN, WHICH IS PUMPED TO A LOCAL MANHOLE OR TRANSMISSION SYSTEM.
- e. THE REMOTE TELEMETRY UNIT SHALL INCLUDE AN ENCLOSURE WITH POWER SUPPLY, CENTRAL PROCESSING UNIT, ANALOG AND DIGITAL OUTPUTS, RADIO, DIRECTIONAL ANTENNA AND APPURTENANCES
- f. THE CONTRACTOR SHALL FURNISH, AT THE UTILITY SERVICE PROVIDER'S DISCRETION, EITHER AN EMERGENCY GENERATOR OR EMERGENCY BYPASS PUMP. THE GENERATOR SHALL BE SIZED TO MEET THE STARTING AMPERAGE OF BOTH PUMPS SIMULTANEOUSLY. THE BYPASS PUMP SHALL BE A MINIMUM SIX (6) INCH SELF-PRIMING PUMP. EITHER SHALL BE DIESEL POWERED, TRAILER MOUNTED WITH NECESSARY TOWING EQUIPMENT INCLUDING, LIGHTS AND HITCH. THE GENERATOR SHALL BE SUPPLIED WITH NECESSARY PLUG AND CABLE FOR SUPPLYING POWER TO THE PUMP STATION CONTROL PANEL. THE BYPASS PUMP SHALL BE SUPPLIED WITH THE NECESSARY HOSES AND CONNECTIONS TO PROVIDE BYPASSING OF THE PUMP STATION.

# 3. QUALIFICATIONS:

TO ASSURE UNITY OF RESPONSIBILITY, THE MOTORS AND CONTROL SYSTEM SHALL BE FURNISHED AND COORDINATED BY THE LOCAL PUMP MANUFACTURER REPRESENTATIVE. THE CONTRACTOR AND PUMP MANUFACTURER SHALL ASSUME RESPONSIBILITY FOR THE SATISFACTORY INSTALLATION AND OPERATION OF THE ENTIRE PUMPING SYSTEM INCLUDING PUMPS, MOTORS, CONTROLS, GENERATOR OR BYPASS AS SPECIFIED.

# 4. SUBMITTALS:

- a. COPIES OF ALL MATERIALS REQUIRED ESTABLISHING COMPLIANCE WITH SPECIFICATIONS SHOULD BE SUBMITTED IN ACCORDANCE WITH PROVISIONS FOR THE GENERAL CONDITIONS. SUBMITTALS SHALL INCLUDE AT LEAST THE FOLLOWING:
- i. SHOP ERECTION DRAWINGS SHOWING ALL-IMPORTANT DETAILS OF CONSTRUCTIONS, DIMENSIONS AND ANCHOR BOLT LOCATIONS.
- ii. DESCRIPTIVE LITERATURE, BULLETINS AND CATALOGS OF THE EQUIPMENT.
- iii. DATA ON THE CHARACTERISTICS AND PERFORMANCE OF EACH STATION PUMP, GENERATOR DATA SHALL INCLUDE A CERTIFIED PERFORMANCE TEST, BASED ON ACTUAL SHOP TESTS OF THE SALE UNITS, WHICH SHOW THAT THEY MEET THE SPECIFIED REQUIREMENTS FOR HEAD, CAPACITY, EFFICIENCY, AND HORSEPOWER. CURVES SHALL BE SUBMITTED ON 8 1/2 INCH BY 11 INCH SHEETS AT AS LARGE A SCALE AS PRACTICAL. CURVES SHALL BE PLOTTED FROM NO FLOW AT SHUT OFF HEAD TO PUMP CAPACITY AT MINIMUM SPECIFIED TOTAL DYNAMIC HEAD. CATALOG SHEETS SHOWING A FAMILY OF CURVES WILL NOT BE ACCEPTABLE.
- iv. COMPLETE MASTER WIRING DIAGRAMS, TELEMETRY OR CONTROL SCHEMATICS, INCLUDING COORDINATION WITH OTHER ELECTRICAL DEVICES OPERATING IN CONJUNCTION WITH THE PUMP CONTROL SYSTEM AND SUITABLE OUTLINE DRAWINGS SHALL BE FURNISHED FOR APPROVAL BEFORE PROCEEDING WITH MANUFACTURER, STANDARD PRE-PRINTED SHEETS OR DRAWINGS SIMPLY MARKED
- TO INDICATE APPLICABILITY TO THIS CONTRACT WILL NOT BE ACCEPTABLE. v. A DRAWING SHOWING THE LAYOUT OF THE PUMP CONTROL PANEL SHALL BE FURNISHED, THE LAYOUT SHALL INDICATE EVERY DEVICE MOUNTED ON THE DOOR WITH COMPLETE IDENTIFICATION.
- vi. THE TOTAL WEIGHT OF THE EQUIPMENT INCLUDING THE WEIGHT OF THE SINGLE LARGEST ITEM.
- vii. A COMPLETE TOTAL BILL OF MATERIALS OF ALL EQUIPMENT.
- viii. A LIST OF THE MANUFACTURER'S RECOMMENDED SPARE PARTS TO BE SUPPLIED IN ADDITION TO THOSE SPECIFIED IN PARAGRAPH 6.A. WITH THE MANUFACTURER'S CURRENT PRICE FOR EACH ITEM. INCLUDE GASKETS, SEALS, ETC. ON THE LIST. LIST BEARING BY THE BEARING MANUFACTURER'S NUMBERS ONLY.
- ix. ALL SUBMITTAL DATES REQUIRED BY THE GENERAL CONDITIONS.
- x. COMPLETE MOTOR DATA.
- IN THE EVENT THAT IT IS IMPOSSIBLE TO CONFORM TO CERTAIN DETAILS OF THE SPECIFICATIONS DUF TO DIFFERENT MANUFACTURING TECHNIQUES, DESCRIBE COMPLETELY ALL NON-CONFORMING ASPECTS.
- c. UPON RECEIPT OF APPROVAL OF SUBMITTED MATERIAL, PROVIDE FIVE PRINTS.

# 5. OPERATING INSTRUCTIONS:

- a. OPERATING AND MAINTENANCE MANUALS SHALL BE FURNISHED WHICH WILL INCLUDE PARTS LISTS OF COMPONENTS AND COMPLETE SERVICE PROCEDURES AND TROUBLE-SHOOTING GUIDE. THE MANUALS SHALL BE PREPARED SPECIFICALLY FOR THE INSTALLATION AND SHALL INCLUDE ALL REQUIRED CUTS, DRAWINGS. EQUIPMENT LISTS, DESCRIPTION, ETC. THAT ARE REQUIRED TO INSTRUCT OPERATING AND MAINTENANCE PERSONNEL UNFAMILIAR WITH SUCH EQUIPMENT.
- b. A FACTORY TRAINED REPRESENTATIVE OF ALL MAJOR COMPONENT MANUFACTURERS, WHO HAS COMPLETE KNOWLEDGE OF PROPER OPERATION AND MAINTENANCE, SHALL BE PROVIDED FOR ONE (1) DAY AT THE STATION, TO INSTRUCT REPRESENTATIVES OF THE MUNICIPALITY AND THE ENGINEER ON PROPER OPERATION AND MAINTENANCE AND TO PERFORM INITIAL START-UP OF THE PUMP STATION. WITH PERMISSION OF THE CITY, THIS WORK MAY BE CONDUCTED IN CONJUNCTION WITH THE INSPECTION OF THE INSTALLATION AND TEST RUN. IF THERE ARE DIFFICULTIES IN OPERATION OF THE EQUIPMENT DUE TO THE MANUFACTURER'S DESIGN OR FABRICATION, ADDITIONAL SERVICE SHALL BE PROVIDED AT NO COST TO THE OWNER.

# 6. SPARE PARTS:

- a. A COMPLETE REPLACEMENT PUMP SHAFT SEAL ASSEMBLY SHALL BE FURNISHED WITH EACH PUMP STATION. THE SPARE SEAL SHALL BE PACKED IN A SUITABLE CONTAINER AND SHALL INCLUDE COMPLETE INSTALLATION INSTRUCTIONS. IN ADDITION, A SPARE SEAL GASKET SHALL BE PROVIDED.
- b. SPARE PARTS SHALL BE PROPERLY BOUND AND LABELED FOR EACH IDENTIFICATION WITHOUT OPENING THE PACKAGING AND SUITABLY PROTECTED FOR LONG TERM STORAGE.
- a. THE MANUFACTURER OF THE LIFT STATION SHALL GUARANTEE THE STRUCTURE AND ALL EQUIPMENT TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF UP TO ONE YEAR FROM DATE OF START-UP, NOT TO EXCEED 18 MONTHS FROM THE DATE OF SHIPMENT.
- b. WARRANTIES AND GUARANTEES BY THE SUPPLIERS OF VARIOUS COMPONENTS IN LIEU OF SINGLE-SOURCE RESPONSIBILITY BY THE STATION MANUFACTURER WILL NOT BE ACCEPTED. THE STATION MANUFACTURER SHALL BE SOLELY RESPONSIBLE FOR THE GUARANTEE OF THE STATION AND
- c. THE REPAIR OR REPLACEMENT OF THOSE ITEMS NORMALLY CONSUMED IN SERVICE, SUCH AS SEALS, GREASE, LIGHT BULBS, ETC., SHALL BE CONSIDERED AS PART OF ROUTINE MAINTENANCE AND

# B. EXECUTION:

ALL ITS COMPONENTS.

- a. INSTALLATION SHALL BE STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS IN THE LOCATIONS SHOWN ON THE DRAWINGS. INSTALLATION SHALL INCLUDE FURNISHING THE REQUIRED OIL AND GREASE FOR THE INITIAL OPERATION. THE GRADES OF OIL AND GREASE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- b. THE CONTRACTOR SHALL SUBMIT A CERTIFICATE FROM THE EQUIPMENT MANUFACTURER STATING THAT THE INSTALLATIONS OF THE EQUIPMENT IS SATISFACTORY, THAT THE EQUIPMENT IS READY FOR OPERATION, AND THAT THE OPERATION PERSONNEL HAVE BEEN SUITABLY INSTRUCTED IN THE OPERATION, LUBRICATION AND CARE OF EACH UNIT.
- c. INSTALLATION OF THE PUMP CHAMBER SHALL BE DONE IN ACCORDANCE WITH THE WRITTEN INSTRUCTIONS PROVIDED BY THE MANUFACTURER.

# 2. SHOP PAINTING:

- a. BEFORE EXPOSURE TO WEATHER AND PRIOR TO SHOP PAINTING, ALL SURFACES SHALL BE THOROUGHLY CLEANED, DRY AND FREE FROM ALL MILL-SCALE, RUST, GREASE, DIRT AND OTHER
- b. ALL PUMPS AND MOTORS SHALL BE SHOP COATED, WITH MANUFACTURER'S STANDARD COATING.

- c. ALL NAMEPLATES SHALL BE PROPERLY PROTECTED DURING PAINTING.
- d. GEARS, BEARING SURFACES AND OTHER SIMILAR SURFACES OBVIOUSLY NOT TO BE PAINTED SHALL BE GIVEN A HEAVY SHOP COAT OF GREASE OR OTHER SUITABLE RUST-RESISTANT COATING. THIS COATING SHALL BE MAINTAINED AS NECESSARY TO PREVENT CORROSION DURING PERIODS OF STORAGE AND ERECTION AND SHALL BE SATISFACTORY TO THE ENGINEER UP TO THE TIME OF THE FINAL ACCEPTANCE TEST.

# 3. INSPECTION AND TESTING:

# a. GENERAL:

- i. THE ENGINEER SHALL HAVE THE RIGHT TO INSPECT, TEST OR WITNESS A TEST OF ALL MATERIALS OR EQUIPMENT TO BE FURNISHED UNDER THESE SPECIFICATIONS, PRIOR TO THEIR SHIPMENT FROM
- ii. THE ENGINEER SHALL BE NOTIFIED IN WRITING PRIOR TO INITIAL SHIPMENT IN AMPLE TIME SO THAT ARRANGEMENTS CAN BE MADE FOR INSPECTION BY THE ENGINEER.
- iii. THE ENGINEER OR HIS REPRESENTATIVE SHALL BE FURNISHED ALL FACILITIES, INCLUDING LABOR, AND SHALL BE ALLOWED PROPER TIME INSPECTION AND TESTING OF MATERIAL AND EQUIPMENT.
- iv. MATERIALS AND EQUIPMENT SHALL BE TESTED OR INSPECTED AS REQUIRED BY THE ENGINEER AND THE COST OF SUCH WORK SHALL BE INCLUDED IN THE COST OF THE EQUIPMENT. THE CONTRACTOR SHALL ANTICIPATE THAT DELAYS MAY BE CAUSED BECAUSE OF THE NECESSITY OF INSPECTION, TESTING AND ACCEPTING MATERIALS AND EQUIPMENT BEFORE THEIR USE IS
- v. THE SERVICE OF A FACTORY REPRESENTATIVE SHALL BE FURNISHED FOR ONE (1) DAY, FOR THE STATION, AND SHALL HAVE COMPLETE KNOWLEDGE OF PROPER OPERATION AND MAINTENANCE TO INSPECT THE FINAL INSTALLATION AND SUPERVISE THE TEST RUN OF THE EQUIPMENT.
- vi. FIELD TESTS SHALL NOT BE CONDUCTED UNTIL SUCH TIME THAT THE ENTIRE INSTALLATION IS COMPLETE AND READY FOR TESTING, INCLUDING PERMANENT ELECTRICAL POWER AND TELEMETRY
- vii. ALL COMPONENTS OF THE PUMP STATION SHALL BE GIVEN AN OPERATIONAL TEST AT THE PUMP STATION MANUFACTURER'S FACILITY TO CHECK FOR EXCESSIVE VIBRATION, FOR LEAKS IN THE PUMPING OR SEALS AND CORRECT OPERATION OF THE AUTOMATIC CONTROL AND VACUUM PRIMING SYSTEMS AND ALL AUXILIARY EQUIPMENT. INSTALLED PUMPS SHALL TAKE SUCTION FROM A DEEP WET WELL, SIMULATING ACTUAL SERVICE CONDITIONS. THE CONTROL PANEL SHALL UNDERGO BOTH A DRY LOGIC TEST AND A FULL OPERATIONAL TEST WITH ALL SYSTEMS OPERATING.
- viii. FACTORY TEST INSTRUMENTATION MUST INCLUDE FLOW MEASURING WITH INDICATOR; COMPOUND SUCTION GAUGE: BOURBON TUBE TYPE DISCHARGE PRESSURE GAUGE: ELECTRICAL METERS TO MEASURE AMPERES, VOLTS, KILOWATTS AND POWER FACTOR; SPEED INDICATOR AND VIBROMETER CAPABLE OF MEASURING BOTH AMPLITUDE AND FREQUENCY.

- . AFTER ALL PUMPS HAVE BEEN COMPLETELY INSTALLED, WORKING UNDER THE DIRECTION OF THE MANUFACTURER, CONDUCT IN THE PRESENCE OF THE ENGINEER AND THE UTILITY SERVICE PROVIDER REPRESENTATIVE, SUCH TESTS AS ARE NECESSARY TO INDICATE THAT PUMPS CONFORM TO THE SPECIFICATIONS. FIELD TESTS SHALL INCLUDE ALL PUMPS INCLUDED UNDER THIS SECTION. SUPPLY ALL ELECTRICAL POWER, WATER OR WASTEWATER LABOR, EQUIPMENT AND INCIDENTALS REQUIRED TO COMPLETE THE FIELD TESTS.
- ii. IF THE PUMP PERFORMANCE DOES NOT MEET THE SPECIFICATIONS, CORRECTIVE MEASURES SHALL BE TAKEN OR PUMPS SHALL BE REMOVED AND REPLACED WITH PUMPS WHICH SATISFY THE CONDITIONS SPECIFIED.

i. THE CONTRACTOR SHALL CHECK ALL MOTORS FOR CORRECT CLEARANCE AND ALIGNMENT AND FOR CORRECT LUBRICATION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. THE CONTRACTOR SHALL CHECK DIRECTION OF ROTATION OF ALL MOTORS AND REVERSE CONNECTIONS IF

# d. TELEMETRY:

- i. THE CONTRACTOR SHALL DEMONSTRATE THAT THE TELEMETRY SYSTEM IS FUNCTIONAL AND HAS COMMUNICATIONS WITH THE BASE UNIT.
- e. GENERATOR: i. THE CONTRACTOR SHALL PROVIDE FOR A LOAD TEST EQUAL TO THE START UP AMPERAGE OF BOTH PUMPS
- i. THE CONTRACTOR SHALL DEMONSTRATE THAT THE BYPASS PUMP IS CAPABLE OF MEETING ACTUAL SERVICE CONDITIONS.

# X. EARTHWORK AND COMPACTION

# A. GENERAL

- 1. NONE OF THE EXISTING MATERIAL IS TO BE INCORPORATED IN THE LIMEROCK BASE.
- 2. ALL SUBGRADE UNDER PAVED AREAS SHALL HAVE A MINIMUM LBR VALUE OF 40 AND AND SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- 3. ALL FILL MATERIAL IN AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- 4. A 2" BLANKET OF TOP SOIL SHALL BE PLACED OVER ALL AREAS TO BE SODDED.
- 5. SOD SHALL BE ST. AUGUSTINE, BITTER BLUE OR FLORATAM AND SHALL BE PLACED ON THE GRADED TOP SOIL AND WATERED TO INSURE SATISFACTORY CONDITION UPON FINAL ACCEPTANCE OF THE PROJECT. 6. WHEN WORKING IN AND AROUND EXISTING DRAINAGE CANALS OR LAKES, APPROPRIATE SILT BARRIERS

# B. ON-SITE:

- 1. ALL ORGANIC AND OTHER UNSUITABLE MATERIAL WITHIN THREE FEET OF AREAS TO BE PAVED SHALL BE REMOVED.
- 2. SUITABLE BACKFILL SHALL BE MINIMUM LBR 40 MATERIAL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 FOR THREE (3) FEET BEYOND THE PERIMETER OF THE PAVING.

# XI. STORM DRAINAGE

SHALL BE INSTALLED.

A. CONTRACTOR MAY UTILIZE ONE OF THE FOLLOWING MATERIALS:

- a. PIPE SHALL BE ALUMINUM, MANUFACTURED IN CONFORMANCE WITH ASTM B209.
- b. PIPE SHALL BE SPIRAL RIB DRAINAGE PIPE WITH 3/4" BY 3/4" RIBS, APPROXIMATELY 7-1/2" ON CENTER. GAUGE THICKNESS SHALL MEET FDOT STANDARD 945-1.
- c. PIPE COUPLING BANDS SHALL BE 12" WIDE STANDARD SPLIT BANDS OF THE SAME ALLOY AS THE PIPE AND MAY BE ONE GAUGE LIGHTER THAN THE PIPE.
- d. POLYURETHANE OR OTHER SEALANT SHALL BE USED WITH COUPLING BANDS ON ALL NON-PERFORATED PIPE.

# 2. REINFORCED CONCRETE PIPE (RCP)

- a. CONCRETE PIPE FOR STORM SEWERS SHALL CONFORM TO ASTM L70-79, TABLE III, WALL B, OR LATEST REVISION. ALL PIPE SHALL HAVE MODIFIED TONGUE AND GROOVE JOINTS, AND HAVE RUBBER GASKETS, UNLESS OTHERWISE SPECIFIED.
- 3. HIGH DENSITY POLYETHYLENE (HDPE):
- a. HDPE 12 THROUGH 60 INCH (300 TO 1500 MM) SHALL MEET AASHTO M294, TYPE S OR SP OR ASTM F2306.

# 4. MISCELLANEOUS:

- a. BEDDING AND INITIAL BACKFILL OVER DRAINAGE PIPES SHALL BE SAND WITH NO ROCK LARGER THAN DIAMETER.
- b. BACKFILL MATERIAL UNDER PAVED AREAS SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- c. BACKFILL MATERIAL UNDER AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- d. CATCH BASINS SHALL BE PRECAST MINIMUM 3000 PSI CONCRETE AND GRADE 40 REINFORCED STEEL.
- 5. INSTALLATION: a. PIPE SHALL BE PLACED ON STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO UNIFORM GRADE AND LINE.
- b. BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL WELL TAMPED IN LAYERS NOT TO EXCEED SIX INCHES (6").
- c. PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
- d. THE CONTRACTOR SHALL NOTIFY THE LOCAL WATER CONTROL DISTRICT AT LEAST 24 HOURS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.

- XII. STORM DRAINAGE PRE-TREATMENT/EXFILTRATION SYSTEM
- A. ANY CONFLICT WITH EXISTING OR PROPOSED UTILITIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER. ANY IMPERMEABLE MATERIAL ENCOUNTERED IN THE EXCAVATION FOR THE DRAIN FIELD SHALL BE REMOVED AS DIRECTED BY THE ENGINEER.
- B. THE TRENCH LINER SHALL BE TYPAR SPUN BONDED POLYPROPYLENE FILTER FABRIC AS MANUFACTURED BY THE DUPONT COMPANY, OR APPROVED EQUAL. IT SHALL BE USED ON THE SIDES AND TOP OF DRAIN FIELD DITCH. THE TOP SECTION OF THE MATERIAL SHALL BE LAPPED A MINIMUM OF 24 INCHES AND THE CONTRACTOR SHALL TAKE EXTREME CARE IN BACKFILLING TO AVOID BUNCHING OF THE FABRIC.
- C. PERFORATED PIPE WITHIN THE DRAIN FIELD SHALL HAVE 3/8 INCH PERFORATIONS 360° AROUND THE PIPE WITH APPROXIMATELY 120 PERFORATIONS PER FOOT OF PIPE.
- D. PERFORATED PIPE SHALL TERMINATE FIVE FEET (5') FROM THE DRAINAGE STRUCTURE. THE REMAINING FIVE FEET (5') SHALL BE NON-PERFORATED PIPE.
- E. PIPES SHALL TERMINATE TWO FEET (2') FROM THE END OF THE TRENCH OR CONNECT TO ADDITIONAL CATCH BASINS.

# XIII. PAVING

- A. GENERAL:
- 1. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF OF LIMEROCK BASE AND PRIOR TO PLACEMENT OF THE PAVEMENT.
- 2. ALL EXISTING PAVEMENT CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- 3. WHERE PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
- 4. ALL STREET CORNER PAVEMENT RADII SHALL BE 25 FEET UNLESS OTHERWISE NOTED ON THE PLANS.
- 5. UPON COMPLETION OF DRAINAGE IMPROVEMENTS AND LIMEROCK BASE CONSTRUCTION (AND BEFORE PLACING ASPHALT PAVEMENT) THE CONTRACTOR SHALL FURNISH THE ENGINEER OF RECORD AND THE LOCAL MUNICIPALITY "AS-BUILT" PLANS FOR THESE IMPROVEMENTS, SHOWING THE LOCATIONS AND THE PERTINENT GRADES OF ALL DRAINAGE INSTALLATIONS AND THE FINISHED ROCK GRADES OF THE ROAD CROWN AND EDGE OF PAVEMENT AT 50 FEET INTERVALS. THESE "AS-BUILTS" SHALL BE APPROVED BY THE MUNICIPALITY PRIOR TO THE PLACEMENT OF ASPHALT.

# B. MATERIALS:

- 1. BASE COURSE SHALL BE CRUSHED LIMEROCK MIAMI OOLITE WITH A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM (60% FOR LOCAL STREETS AND PARKING AREAS) AND A MINIMUM LIMEROCK
- 2. PRIME COAT AND TACK COAT SHALL MEET F.D.O.T. STANDARDS.
- 3. SURFACE COURSE SHALL BE EQUAL TO F.D.O.T. TYPE S-3 ASPHALT.
- 4. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 6" x 6" No. 6 GAUGE WIRE MESH.

# C. INSTALLATION:

- 1. LIMEROCK BASE MATERIAL SHALL BE 8 INCHES THICK AND SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- 2. LIMEROCK BASE MATERIAL SHALL BE PLACED IN MAXIMUM 6" LIFTS. BASES GREATER THAN 6" SHALL BE PLACED IN TWO OR MORE EQUAL LIFTS.
- 3. ASPHALTIC CONCRETE SHALL BE A MINIMUM OF 1 1/2" THICK AND SHALL BE PLACED IN TWO 3/4" LIFTS. (NOTE: SECOND LIFT TO BE PLACED AFTER A MINIMUM OF 80% OF THE HOUSES HAVE BEEN COMPLETED OR AS DIRECTED BY THE MUNICIPALITY'S ENGINEER.
- 4. PRIME COAT SHALL BE PLACED ON ALL LIMEROCK BASES IN ACCORDANCE WITH F.D.O.T. STANDARDS.
- 5. TACK COAT SHALL BE PLACED AS REQUIRED IN ACCORDANCE WITH F.D.O.T. STANDARDS.

- ALL SUBGRADE, LIMEROCK AND ASPHALT TESTS REQUIRED SHALL BE TAKEN AT THE DIRECTION OF THE ENGINEER AND/OR THE LOCAL MUNICIPALITY.
- 1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE
- 2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, AND TAKEN AS DIRECTED BY THE ENGINEER AND THE LOCAL MUNICIPALITY.
- 3. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE OWNER EXCEPT THOSE TESTS FAILING TO MEET THE SPECIFIED REQUIREMENTS, WHICH ARE TO BE PAID BY THE CONTRACTOR

# XIV. SIGNING AND MARKING

- A. ALL PAVEMENT MARKINGS SHALL BE HOT APPLIED THERMOPLASTIC MANUFACTURED AND APPLIED IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATION'S SECTION 711 AND BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS WHERE APPLICABLE.
- B. ALL SIGNS SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND BROWARD COUNTY TRAFFIC ENGINEERING DIVISION STANDARDS.
- REFLECTIVE PAVEMENT MARKERS SHALL BE CLASS B MARKERS MANUFACTURED IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS 706 AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED

# XV. ABANDONMENT/GROUTING OF EXISTING PIPING

# A. GENERAL

PIPING DESIGNATED TO BE "ABANDONED/GROUTED" IN PLACE SHALL BE PRESSURE GROUTED WITH A LIME/CEMENT/SAND SLURRY AND SEALED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND/OR UTILITY SERVICE PROVIDER AND THE PROVISIONS SPECIFIED HEREIN AND, WHERE NECESSARY DUE TO CONFLICT WITH PROPOSED INSTALLATIONS OR REMOVAL OF UNSUITABLE MATERIAL, SECTIONS OF PIPE SHALL BE CUT OUT AS REQUIRED, REMOVED AND PROPERLY DISPOSED OF.

# B. HAZARDOUS MATERIALS:

- PIPING TO BE ABANDONED AND STABILIZED OR CUT AND REMOVED IS OF ASBESTOS-CEMENT MATERIAL COMPOSITION AND SHALL BE HANDLED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS OF THE AGENCIES HAVING JURISDICTION.
- 1. PROVIDE THE SERVICES OF A PROPERLY QUALIFIED, EXPERIENCED AND, WHERE MANDATORY, FLORIDA LICENSED ASBESTOS REMOVAL CONTRACTOR TO PERFORM THE REQUIRED WORK. PROVIDE FOR THE SAFETY AND PROPER PROTECTION OF PERSONS AGAINST EXPOSURE TO HAZARDOUS MATERIALS INVOLVED IN THE PROJECT.
- 2. DETERMINE AND COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, CONTAINMENT, HANDLING, AND DISPOSAL OF HAZARDOUS MATERIAL. DISPOSAL METHOD FOR THIS PIPING SHALL BE TO CUT PIPE, DISLOCATE IT AND LEGALLY DISPOSE OF THE PIPING OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.

- 1. SUBMIT DATA ON PROPOSED METHODS AND EQUIPMENT FOR LIME SLURRY INJECTION PROCESS. 2. SUBMIT MANUFACTURER'S CERTIFICATE INDICATING MATERIALS COMPLIANCE WITH SPECIFICATIONS.
- 3. SUBMIT CERTIFICATION OF APPLICATOR'S TRAINING AND EXPERIENCE (2 YEARS MINIMUM) USING PRESSURE GROUTING PROCESS.

# D. LIME SLURRY:

- MATERIALS:
- a. HYDRATED LIME: ASTM C 141.
- b. PORTLAND CEMENT: ASTM C 150, TYPE 1.
- c. WATER: POTABLE QUALITY.
- e. SAND: CLEAN SAND WITH 100% PASSING THE 3/8" SIEVE AND NOT MORE THAN 10% PASSING THE 200 MESH.

a. PROPORTION LIME SLURRY AT RATE OF 2.5 TO 3.0 POUNDS OF HYDRATED LIME PER GALLON OF WATER: CONTINUOUSLY AGITATE

d. ADD SURFACTANT TO MIX NOT TO EXCEED THE RATE OF ONE UNDILUTED GALLON PER 3,000 GALLONS

- b. SPECIFIC GRAVITY RANGE 1.14 TO 1.16 AT 60 F.
- c. ADD CEMENT TO LIME SLURRY AT THE RATE OF 2.0 POUNDS PER GALLON OF WATER.

d. SURFACTANT: BIODEGRADABLE, NONIONIC DETERGENT (USAGE TO BE CONTRACTOR OPTION)

e. FLOWABLE FILL MATERIAL SHALL BE PROPORTIONED TO PRODUCE A 28-DAY COMPRESSIVE STRENGTH OF 50-150 PSI.

SLURRY TANK.

- 1. SLURRY TANK: MECHANICAL AGITATOR EQUIPPED TANK OF APPROPRIATE CAPACITY.
- 2. PRESSURE GAUGES: CALIBRATED TO INDICATE POUNDS PER SQUARE INCH IN APPROPRIATE RANGE AND
- 3. HOSES: RATED TO SPECIFIED PRESSURES.
- 4. PIPE TAP: INJECTION PORT SHALL CONSIST OF A 1-INCH TAPPING SADDLE DRILLED AND TAPPED TO RECEIVE A THREADED GALVANIZED PIPE NIPPLE TO RECEIVE THE PRESSURE HOSE FITTINGS.
- 5. INJECTION EQUIPMENT SHALL BE A SELF-CONTAINED MOBILE UNIT SPECIFIC TO THE WORK TO BE
- 6. INJECTION PORTS SHALL BE INSTALLED AT REGULAR INTERVALS ALONG THE PIPELINE, CORRESPONDING TO THE MAXIMUM CAPABILITY OF THE PUMPING EQUIPMENT IN SERVICE.
- 1. VERIFY THAT PIPELINE INJECTION PORTS ARE IN PLACE TO VENT AIR AND WATER PRIOR TO STARTING THE INJECTION PROCEDURES.
- 2. CORRECT ANY DEFECTS THAT WOULD PREVENT PROPER INJECTION OF THE SLURRY.
- 3. PERFORM GROUTING OF PIPELINE IN SEGMENTS FROM CLOSED VALVE TO CLOSED VALVE. 4. CONTINUOUSLY AGITATE SLURRY DURING INJECTION PROCESS; MAINTAIN SAME SPECIFIC GRAVITY AT THE
- 5. RECORD INJECTION PRESSURES FOR EACH SECTION OF PIPELINE.
- 6. INJECT EACH SECTION UNTIL SLURRY IS EJECTED FROM THE FOLLOWING PORT.
- 7. PLUG OR CAP THE INJECTION PORT USED AND REPEAT THE PROCESS UNTIL THE PIPELINE FROM VALVE TO VALVE IS COMPLETED.

8. AS EACH SECTION OF PIPELINE IS GROUTED, EXCAVATED ACCESS HOLES SHALL BE BACKFILLED.

THE CONTRACTOR SHALL CONFORM TO THE MOST CURRENT AND MOST STRINGENT STANDARDS AND SPECIFICATION REQUIREMENTS FOR THE BROWARD COUNTY DEPARTMENT OF PLANNING AND ENVIRONMENTAL

PROTECTION AND THE LOCAL MUNICIPALITY, PERTAINING TO ALL UTILITY PIPE SEPARATIONS AND CLEARANCES.

BROWARD COUNTY DEPARTMENT OF PLANNING AND ENVIRONMENTAL PROTECTION

SHALL BE USED AS DETERMINED BY DESIGN.

1. NOTES ON WATER SEWER SEPARATION:

- A. SANITARY SEWERS AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF
- THE LOWER PIPE WHENEVER POSSIBLE. WHERE SANITARY SEWERS OR FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES OF VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (D.I.P.) AT THE CROSSING. SUFFICIENT LENGTHS OF D.I.P. MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
- ALL CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUAL DISTANCE FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING). WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.
- B. A MINIMUM 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN PARALLEL INSTALLATIONS WHENEVER POSSIBLE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN 10-FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON

ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER

- MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF D.I.P. AND THE SANITARY SEWER OR THE FORCE MAIN SHALL BE CONSTRUCTED OF D.I.P. WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN
- C. ALL D.I.P. SHALL BE CLASS 50 OR HIGHER. ADEQUATE PROTECTIVE MEASURE AGAINST CORROSION

**ENGINEER'S SEAL** NOT VALID WITHOUT ORIGINAL SIGNATURE CORLISS CENS No. 39461 STATE OF CORIDA

GENERAL NOTES AND SPECIFICATIONS

SHEET TITLE

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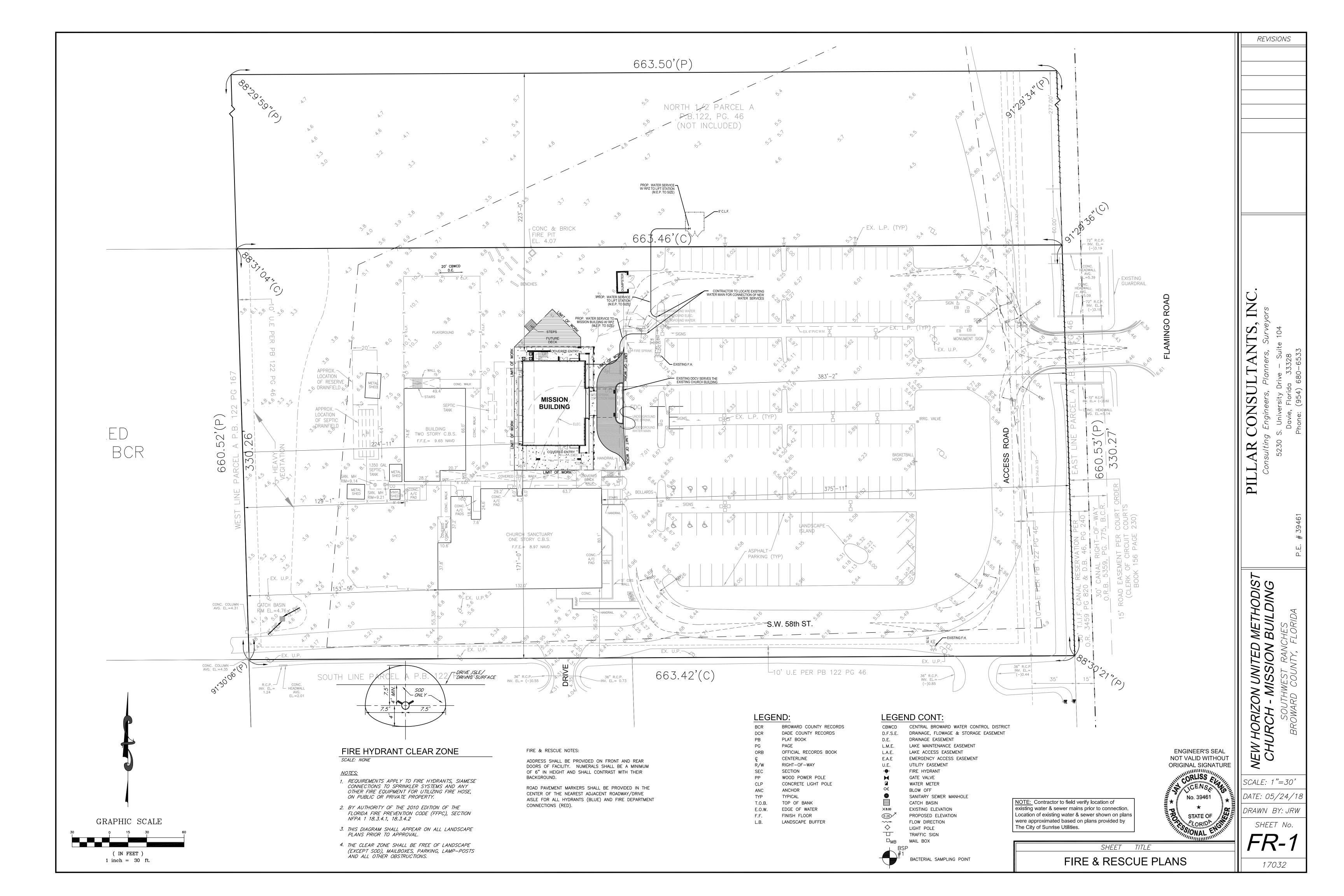
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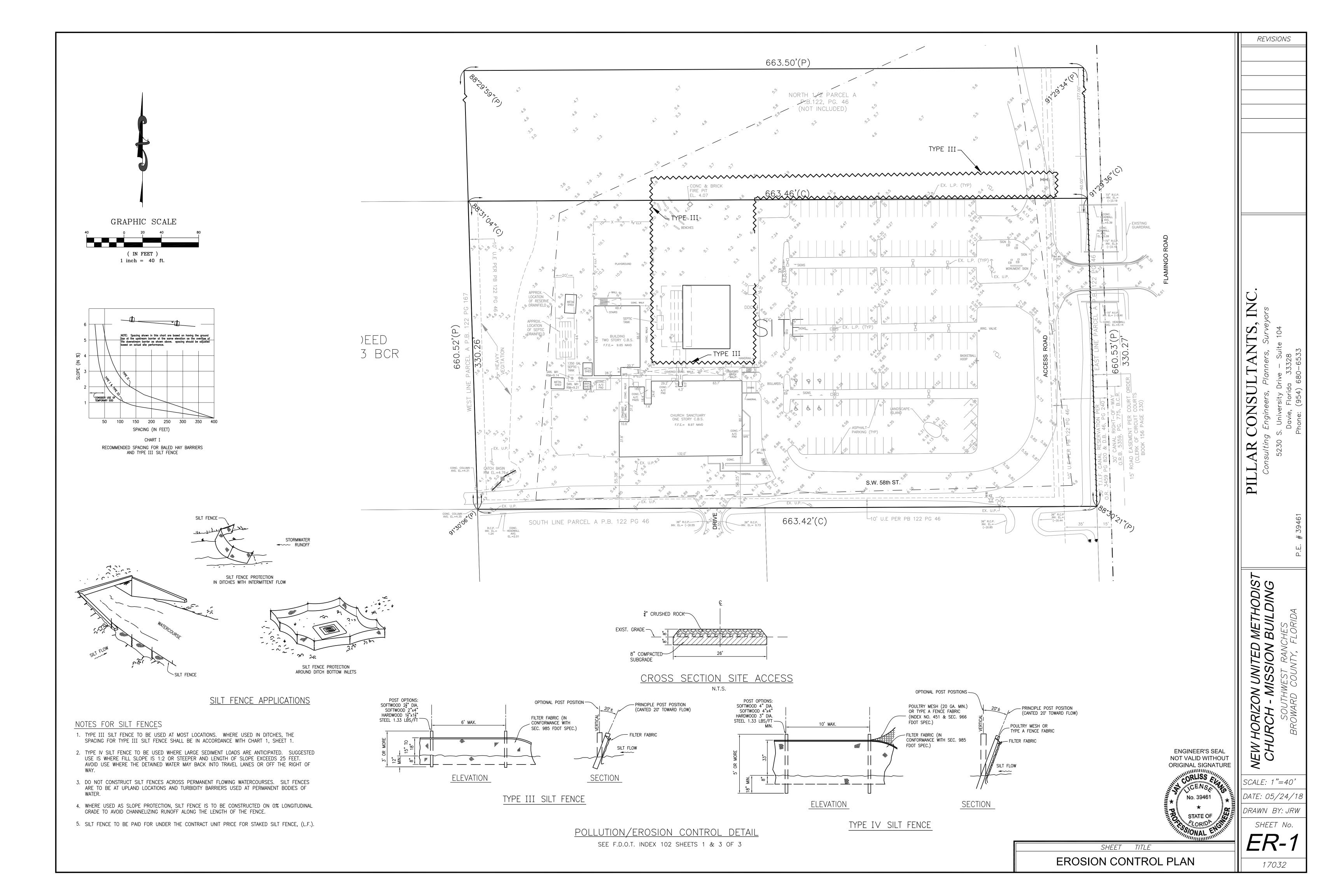
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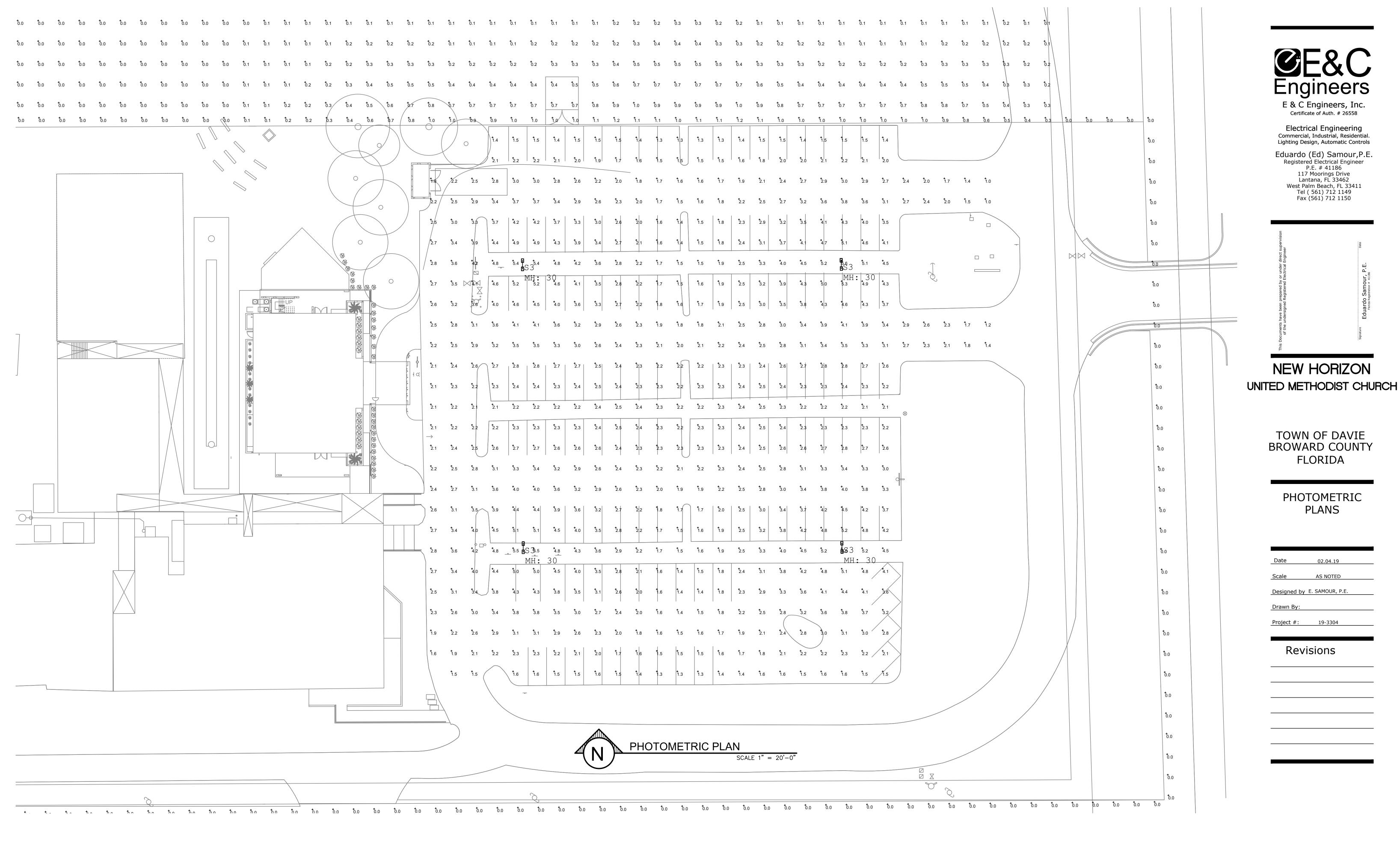
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|------------------|-----|-------|---|-------|-------------|
| Symbol           | Qty | Label | Description   | LLF   | Lum. Lumens |
|                  | 4   | S3    | XTRA LTG#: (2) VNTLEDL033005MNUIN510XXBZHO / MTD AT 30' AFG | 0.900 | 33790       |

| Calculation Summary |             |       |      |     |     |         |         |
|---------------------|-------------|-------|------|-----|-----|---------|---------|
| Label               | СаІсТуре    | Units | Avg  | Max | Min | Avg/Min | Max/Min |
| PARKING LOT         | Illuminance | Fc    | 2.75 | 5.6 | 1.0 | 2.75    | 5.60    |
| PROPERTY LINE       | Illuminance | Fc    | 0.16 | 1.2 | 0.0 | N.A.    | N.A.    |
| SPILL LIGHT NORTH   | Illuminance | Fc    | 0.11 | 1.0 | 0.0 | N.A.    | N.A.    |

Sheet

PHM-1



| PROJECT INFORMATION |      |
|---------------------|------|
| Project Name        | Date |
| Catalog #           | Type |

## **VIENTO** LARGE



**APPLICATIONS**  Auto Dealership Sales Lots Parks & Recreation Areas Parking Lots Security Areas

• Educational/Business Campuses • Mall & Retail Spaces APPROVALS ETL listed. Complies with UL 1598 and CSA C22.2 No. 250.0-08 Suitable for wet locations.

C136.31-2010, Test Level 2. IP 66 Optics and Housing. Select models DLC Qualified. For a complete list of DLC Qualified products, please visit: www.xtralight.com/dlc or www.designlights.org/qpl

• 3G Vibration Rated for Bridge/Overpass Applications per ANSI

PRODUCT PERFORMANCE

LUMENS EFFICACY MODEL VNT- L 231 & 300\* Over 33000 Up to 116

### **FEATURES**

- Outstanding photometric performance results in sites with excellent uniformity, optimal pole spacing and lower power
- Optics are completely sealed against moisture and environmental contaminants (IP66).
- Low profile architectural design offers a contemporary appearance with excellent light output.
- Field serviceable luminaire utilizing Lumileds LED technology. Controls ready luminaire for independent operation or remote management.
- Operating temperature -40°C to +40°C (-40°F to +104°F).

### CONSTRUCTION

- Housing: One-piece die-cast aluminum has integral heat sink fins to optimize thermal management through conductive and convective cooling.
- The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life.
- Housing and door are protected with a thermoset TGIC-polyester powder coat finish using a tightly controlled multi-stage process to a uniform 3 mil thickness (min). This finish provides superior protection from corrosion and maximum environmental durability.
- Powder coat finish available in bronze, white or custom colors (consult factory).

## MOUNTING

VNTLED-LARGE 191601 All in

- Integral arm with key hole slot facilitates quick and easy installation. Nut plate eliminates loose hardware in the pole and reduces
- installation labor.

- Precision molded optics for superior uniformity, minimal light trespass and maximum pole spacing.
- Optical grade polymer is UV stabilized and impact resistant. • IP66 rated LED light engines prevent dust and moisture from
- degrading performance. • Distributions: Type II, Type III, Type IV and Type V. Types II, III, and IV available rotated right or left 90°, factory installed.
- Best in class Lumileds LEDs with 3000K, 4000K and 5000K CCT
- Zero uplight (U0) is night sky friendly, reduces wasted light.
- Lumen Maintenance: >100,000hrs L70 @ 25°C (see page 3 for details).

### **ELECTRICAL**

included).

- Voltage: 120-277V 50/60Hz driver (standard); 347-480V 50/60Hz driver (optional).
- Class 2 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with
- <1% failure rate.
- Surge Protection: 20kA standard.
- NEMA twist-lock receptacle available as an option. • NOTE: Photocontrol or shorting cap required for operation (not
- Dimming: 0-10v dimmable driver available as an option.
- Occupancy (PIR) sensor available as an option.

#### WARRANTY 10-year limited warranty.





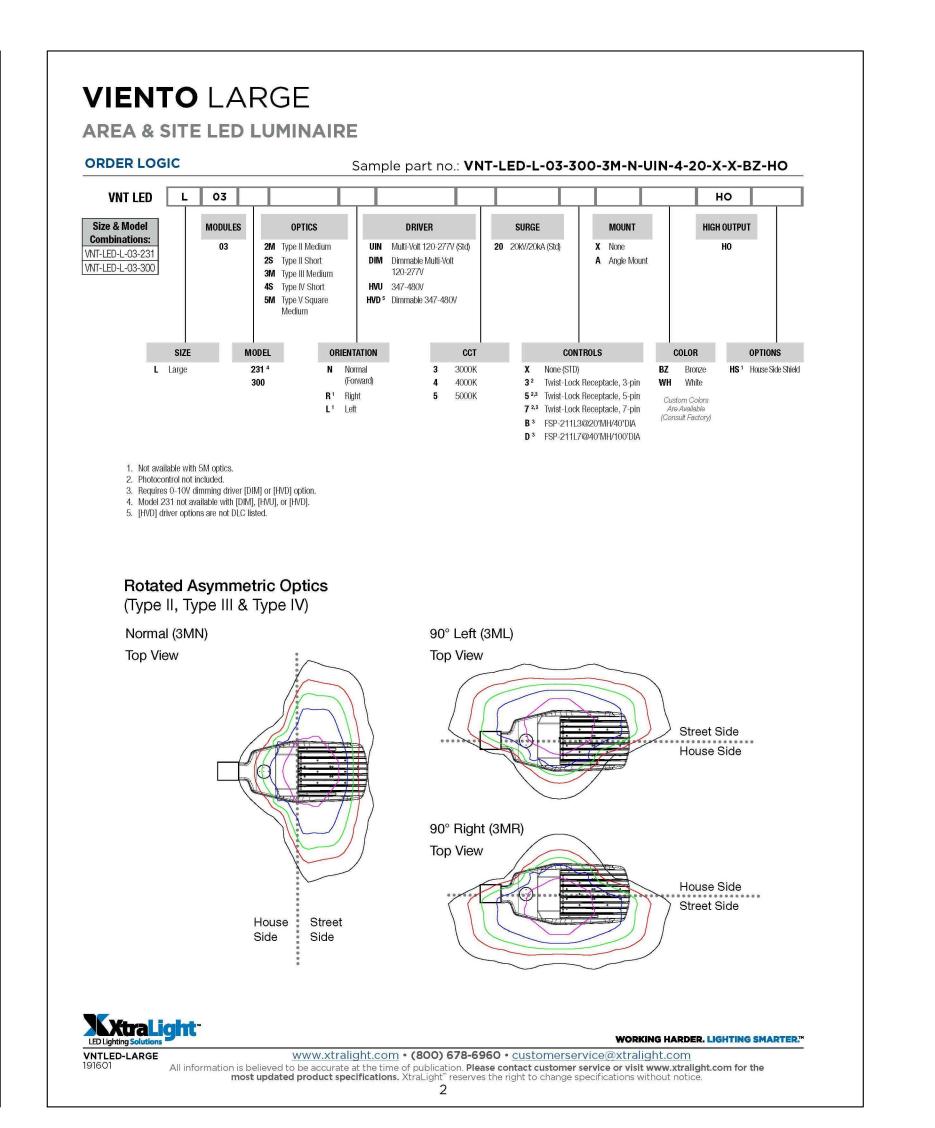


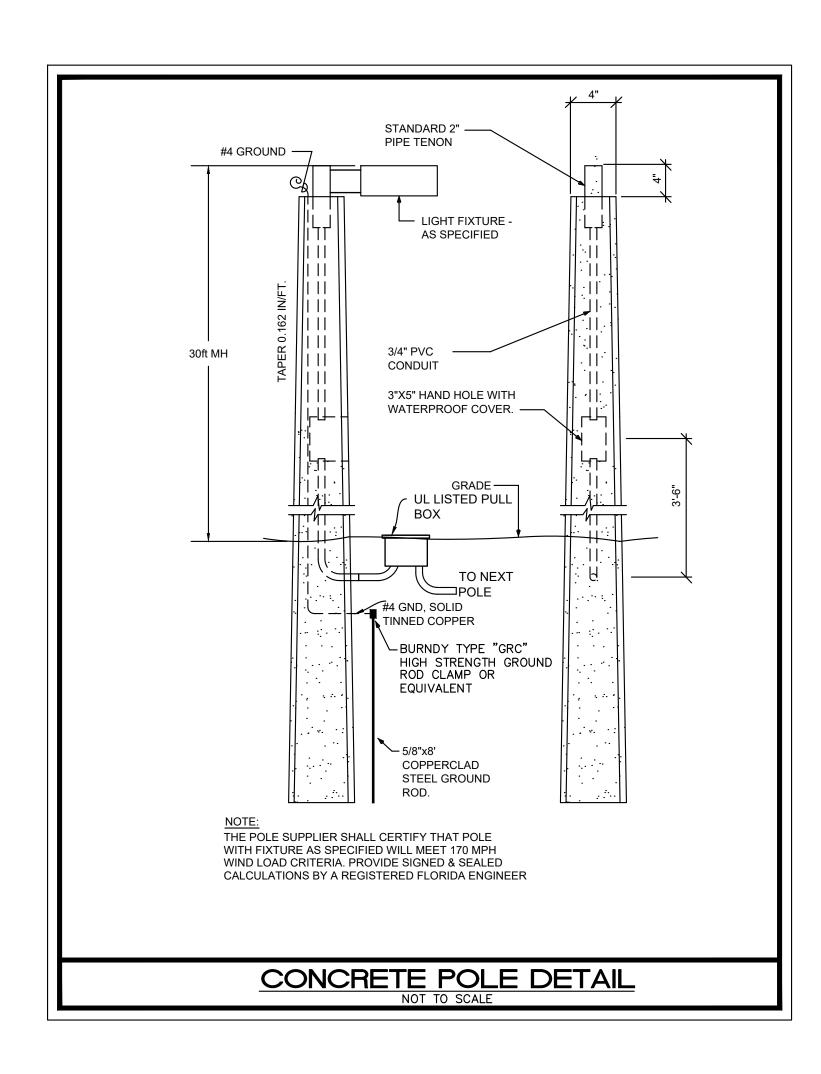


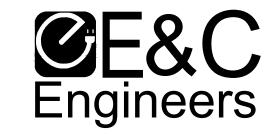




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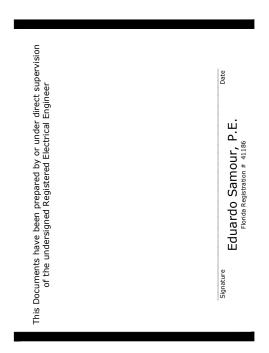




E & C Engineers, Inc. Certificate of Auth. # 26558

Electrical Engineering Commercial, Industrial, Residential. Lighting Design, Automatic Controls

Eduardo (Ed) Samour, P.E. Registered Electrical Engineer P.E. # 41186 117 Moorings Drive Lantana, FL 33462 West Palm Beach, FL 33411 Tel ( 561) 712 1149 Fax (561) 712 1150



**NEW HORIZON** UNITED METHODIST CHURCH

> TOWN OF DAVIE **BROWARD COUNTY FLORIDA**

> > PHOTOMETRIC PLANS

| Scale       | AS NOTED        |
|-------------|-----------------|
| Designed by | E. SAMOUR, P.E. |
| Drawn By:   |                 |
| Project #:  | 19-3304         |
|             |                 |
| Rev         | isions          |
|             |                 |
|             |                 |

PHM-2



Town of Southwest Ranches 13400 Griffin Road Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall (954) 434-1490 Fax Town Council Doug McKay, Mayor Gary Jablonski, Vice Mayor Freddy Fisikelli, Council Member Bob Hartmann, Council Member Denise Schroeder, Council Member

Andrew D. Berns, Town Administrator Keith M. Poliakoff, JD, Town Attorney Russell Muniz, Assistant Town Administrator/Town Clerk Martin D. Sherwood, CPA, CGMA, CGFO, Town Financial Administrator

### **COUNCIL MEMORANDUM**

TO: Honorable Mayor McKay and Town Council

VIA: Andy Berns, Town Administrator

FROM: Jeff Katims DATE: 2/20/2019

**SUBJECT:** Resolution Approving Site Plan Modification for Sikh Society

#### Recommendation

Approval, with conditions enumerated in the agenda report.

### <u>Unanimous Vote of the Town Council Required?</u>

Yes

### **Strategic Priorities**

A. Sound Governance

E. Cultivate a Vibrant Community

### **Background**

Sikh Society requests site plan modification for a one-story, 2,287 square-foot building addition to the northwest portion of the facility in the grassed area between the existing building and the parking lot.

The addition consolidates egress to the facility into a single entrance from the north side of the building, while creating a multimedia center/conference room, small study rooms and additional restroom.

### Fiscal Impact/Analysis

N/A

## **Staff Contact:**

Jeff Katims, AICP, CNU-A

### **ATTACHMENTS:**

| Description                               | Upload Date | Type            |
|---|-------------|-----------------|
| Site Plan Modification Reso - TA Approved | 4/3/2019    | Resolution      |
| Staff report                              | 2/20/2019   | Backup Material |
| Location Map                              | 2/20/2019   | Backup Material |
| Site Plan                                 | 2/20/2019   | Backup Material |
| Site Plan (sheet #2)                      | 2/20/2019   | Backup Material |
| Site Plan (sheet #3)                      | 2/20/2019   | Backup Material |
| Mail Notice Radius Map                    | 2/20/2019   | Backup Material |
| Mail Notice List                          | 2/20/2019   | Backup Material |

### **RESOLUTION NO. 2019-XXX**

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-71-18 BY THE SIKH SOCIETY OF FLORIDA, INC. TO AMEND ITS EXISTING SITE PLAN TO ADD AN ADDITIONAL 2,287 SQUARE FEET OF BUILDING AREA TO THE EXISTING FACILITY; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

**WHEREAS,** the Sikh Society of Florida, Inc. is the current owner ("Owner") of property within Parcel "A" of Sikh Society Plat, as recorded in Plat Book 120, Page 9 of the Broward County, Florida Public Records, as well as the owner of Parcel A of Requejo Subdivision, as recorded in Plat Book 163, Page 14; and

**WHEREAS**, Petitioner requests modification of its existing approved site plan to erect a 2,287 square-foot building addition; and

**WHEREAS,** the Town Council of the Town of Southwest Ranches, Florida ("Town Council") finds that the proposed site plan amendment complies with the requirements of the Town's Unified Land Development Code ("ULDC").

# NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:

**Section 1.** That the foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution.

**Section 2.** That, upon reviewing the application, analysis of the Town Staff, testimony and the evidence submitted at a duly noticed public hearing held on April 11, 2019, the Town Council hereby approves Site Plan Modification Application No. SP-71-18, in accordance with the following stipulated conditions:

- Prior to the issuance of a building permit, execute a Unity of Title Agreement in a form and format acceptable to the Town Attorney that unifies the title of the developed 1.67 acre parcel to the undeveloped 0.73 acre parcel. This agreement shall be recorded in the Broward County Public Records, and shall be binding on successors and assigns.
- 2. Prior to the issuance of a building permit, execute a Parking Agreement in a form and format acceptable to the Town Attorney that prohibits the use of more than

one assembly area at any one time. The agreement shall include provisions authorizing Town's un-noticed right of inspection to confirm compliance with the Agreement, enforcement, and recovery of Attorney's fees for any violation thereof. This agreement shall be recorded in the Broward County Public Records, and shall be binding on successors and assigns.

- 3. Prior to issuance of a certificate of occupancy, install an opaque, white vinyl fence 5 to 6 feet in height behind the existing shrub line along the Dykes Road frontage of the undeveloped parcel.
- 4. Prior to the issuance of a certificate of occupancy, restore the shrubs so as to create an opaque screen and plant Live Oaks behind the fence 30 feet on center. Continue this landscape treatment along SW 61 Court.
- 5. Prior to the issuance of a building permit, Petitioner shall submit all building and landscape plans to the Town for review and approval.
- 6. Comply with technical corrections to the site plan documents pursuant to the final Development Review Comments memorandum dated January 3, 2019.

<u>Section 3.</u> The Mayor, Town Administrator and Town Attorney are each authorized to execute any and all documents necessary to effectuate the intent of this Resolution.

**Section 4.** This Resolution shall become effective immediately upon adoption.

[Signatures on Following Page]

## Florida, this \_\_\_\_ day of \_\_\_\_\_, 2019, on a motion Ranches, by and seconded by \_\_\_\_\_ McKay Ayes Jablonski Nays Fisikelli Absent Hartman Abstaining Schroeder Doug McKay, Mayor ATTEST: Russell Muniz, Assistant Town Administrator/Town Clerk Approved as to Form and Correctness: Keith Poliakoff, Town Attorney

34725117.1

PASSED AND ADOPTED by the Town Council of the Town of Southwest

## TOWN OF SOUTHWEST RANCHES TOWN COUNCIL AGENDA REPORT

**DATE:** February 13, 2019

**SUBJECT:** Site Plan Modification Application SP-71-18; Sikh Society of

Florida, Inc.

**ADDRESS:** 16000 SW 60<sup>th</sup> Street, Southwest Ranches, FL

**LOCATION:** The southwest corner of the intersection of Dykes Road and

Stirling Road

**ZONING:** CF, Community Facility (developed parcel)

RE, Rural Estate (undeveloped parcel)

LAND USE PLAN

**DESIGNATION:** Rural Estates

**PETITIONER:** Sikh Society of Florida, Inc.

**OWNER:** Sikh Society of Florida, Inc.

**REQUEST:** Site plan modification for a 2,287 SF addition to the existing 9,800

SF building to the existing 62-space parking lot on the north side

of the temple building.

**EXHIBITS:** Staff Report, Aerial Photograph, Site Plan, and Mail Notification

Radius Map and Mailing List.

#### **BACKGROUND**

The Sikh Society of Florida, Inc. ("Petitioner") owns approximately 2.4 net acres at the southwest corner of Stirling and Dykes roads, of which 1.674 net acres are zoned Community Facility (CF) and developed with two single-story buildings connected by a covered breezeway that total approximately 11,550 square feet under roof and 9,800 square feet of enclosed building area. The remaining 0.73 net acre is zoned Rural Estates (RE) and is not developed, and is not proposed for development. The developed parcel comprises the Sikh Society Plat, which is not restricted as to floor area.

### **SITE PLAN MODIFICATION REQUEST**

The Petitioner requests modification of the Sikh Society Site Plan for a one-story, 2,287 square-foot building addition to the northwest portion of the facility in the grassed area between the existing building and the parking lot. The application states that initial concept entailed walling-off the two open sides of the breezeway to create a single facility entrance to address security concerns about the large number of outside entrances into the facility. The concept evolved into a roofed addition that consolidates egress to the facility into a single entrance from the north side of the building, while creating a multimedia center/conference room, small study rooms and additional restroom.

The existing facility contains a 2,681 square-foot worship area, 2,758 multi-use/dining room, 1,300 square-foot priest's residence, and ancillary facilities. The Town's Unified Land Development Code requires one parking space for each 50 square feet of assembly area with non-fixed seating, and 2 parking spaces for the priest's residence, resulting in a requirement for 111 parking spaces. The addition would add 2,158 square feet of assembly area and a separate 129 square-foot bathroom, increasing the parking requirement to 152 parking spaces.

The existing parking facility has 62 paved parking spaces based upon the standards in the county's zoning regulations when the facility was constructed, prior to the Town's incorporation. The county's parking requirement was based only upon only the capacity of the largest of the assembly rooms, exclusive of other assembly areas, under the assumption that the various assembly facilities would not be utilized simultaneously.

The Town's parking regulations allow a facility to base its required parking on only the largest of the assembly areas provided that the owner enters into an enforceable agreement with the Town to limit its use of the facilities to only one assembly area at any given time. Petitioner has agreed to enter into an enforceable agreement with the Town, stipulating that the multimedia/conference room addition will not be used simultaneously with the worship area or multi-use/dining room, and furthermore that only one assembly areas may be used at any one time. Based upon the noncurrent use of the facilities, additional parking spaces would not be required under the Unified Land Development Code. It is also noted that the Petitioner uses the grassed area on its property located east of the buildings for overflow parking to substantially supplement the number of cars that the facility can accommodate.

The proposed addition complies with setback, plot coverage, impervious area and floor area ratio (F.A.R.) requirements as follows: proposed setback to west and north property lines are 50 feet and more than 100 feet respectively, where 50 feet is required; proposed plot coverage of 13.2 percent where 20 percent is the maximum allowed; proposed impervious area of 35.2 percent where 60 percent is the maximum

allowed; and, F.A.R. of 0.12 where .25 is the maximum allowed. The height of the proposed addition will measure 25 feet to its highest point, whereas 35 feet measured to the midline of the roof is allowed.

The proposed addition will not displace any trees, and the site complies with landscaping requirements. SBDD and the Town Engineer have approved the site drainage subject to the Petitioner obtaining a Town Paving, Grading and Drainage Permit and SBDD Paving and Drainage Permit. Finally, the Fire Marshal has determined the Site Plan Modification to be acceptable.

#### **STAFF RECOMMENDATION:**

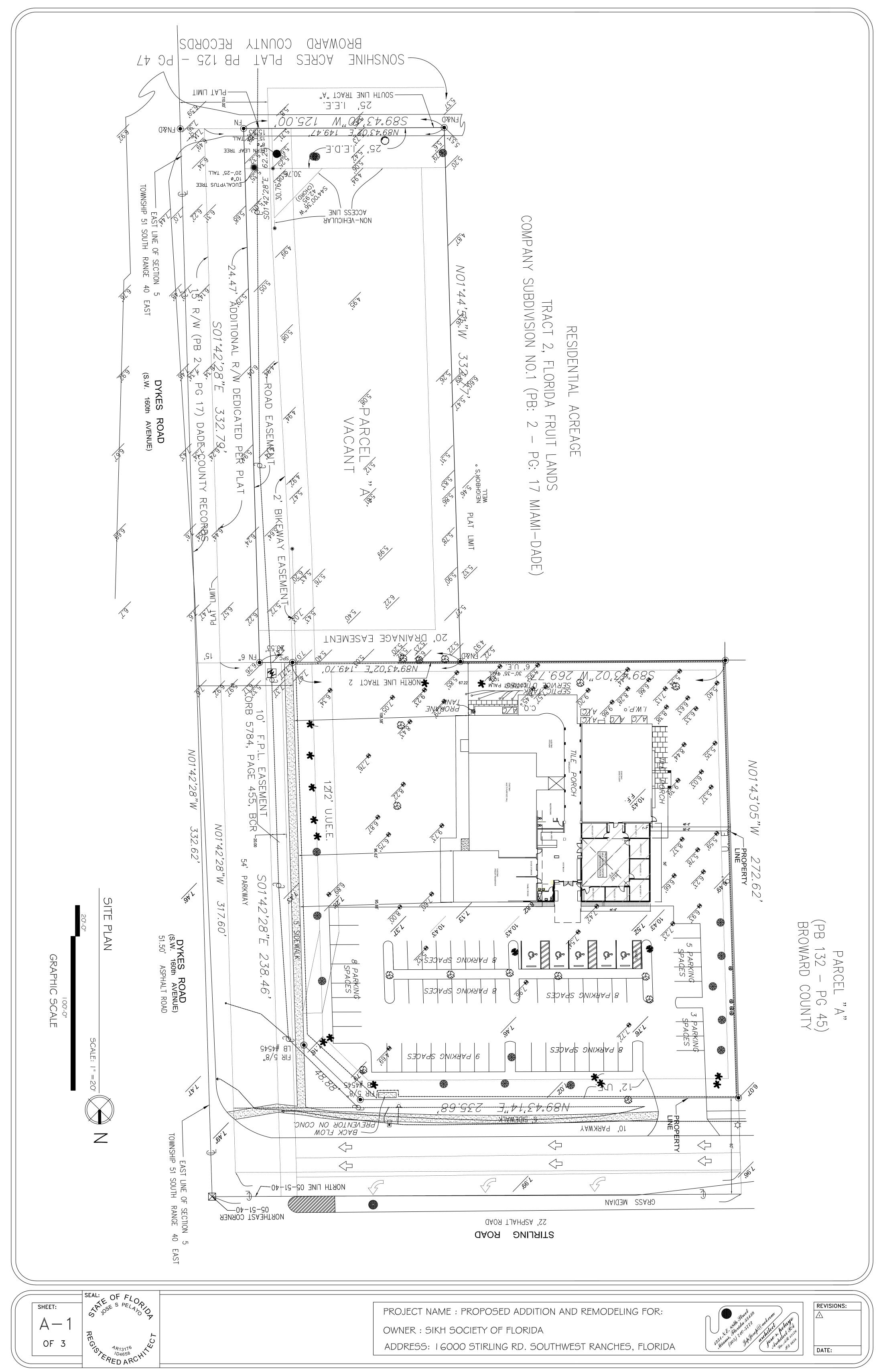
Staff finds that the proposed addition complies with the requirements of the Unified Land Development Code subject to the following conditions that must be met prior to issuance of a building permit:

- 1. Execute a Unity of Title Agreement in a form acceptable to the Town Attorney that unifies the title of the developed 1.67 acre parcel and undeveloped .73 acre parcel. This agreement shall be recorded in the Broward County Public Records.
- Execute a Parking Agreement in a form acceptable to the Town Attorney that
  prohibits the use of more than one assembly area at any one time. The
  agreement shall include provisions authorizing Town's right of inspection to
  confirm compliance with the agreement, enforcement, and recovery of Attorney's
  fees in favor of the Town.
- 3. Install an opaque, white vinyl fence 5 to 6 feet in height behind the existing shrub line along the Dykes Road frontage of the undeveloped parcel.
- 4. Restore the shrubs so as to create an opaque screen and plant Live Oaks behind the fence 30 feet on center. Continue this landscape treatment along SW 61 Court. This condition first requires that Petitioner submits building and landscape plans to the Town and obtains all required approvals and permits.
- 5. Comply with technical corrections to the site plan documents pursuant to the final Development Review Comments memorandum dated January 3, 2019.





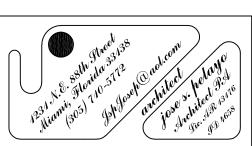
Aerial | Sikh Society of Florida, Inc. 16000 SW 60th Street



OF 3

OWNER: SIKH SOCIETY OF FLORIDA

ADDRESS: 16000 STIRLING RD. SOUTHWEST RANCHES, FLORIDA

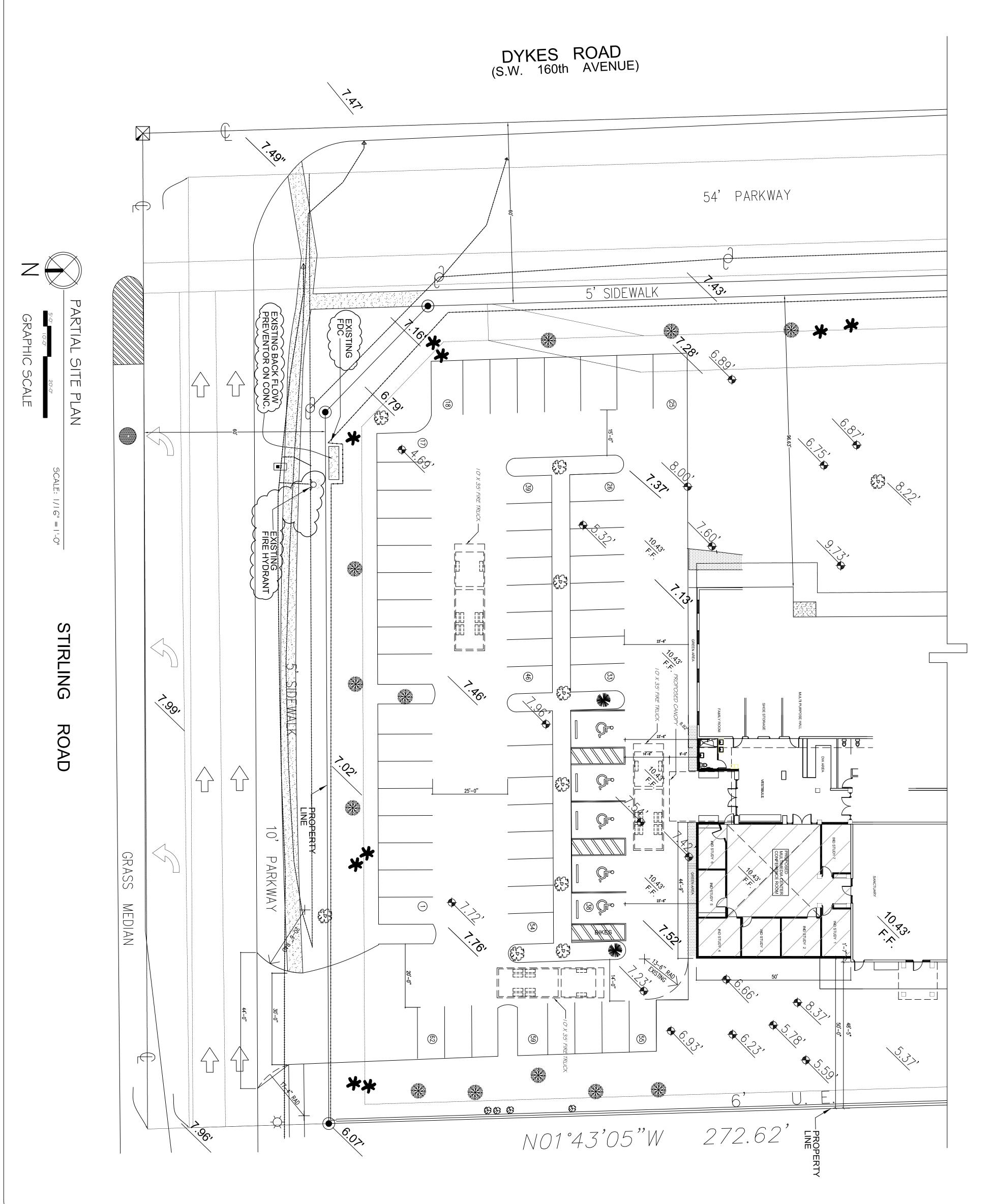


DATE:

SANCTUARY ...... BREEZEWAY ...... LANDSCAPING ......

NET AREA (NORTH LOT ONLY).......

R/W AREA ..... TOTAL ......150 PEOPLE SEATING OCCUPANCY
SEATING OCCUPANCY
SANCTUARY 2,651 SF. ......150 PEOPLE KITCHEN / STORAGE 1,717 SF. ......5 PEOPLE DINING ROOM 2,758 SF. .......106 PEOPLE TOTAL IMPERVIOUS AREA: LAND USE ...... 261 PERSONS 1,300 SF. 1,717 SF. 2,758 SF .. 37,224 SF. ... 72,941 SF. ... 36,729 SF. 1.674 ACRES . 2,681 SF 580 SF. 41 SPACES 45 SPACES . 62 SPACES 62 SPACES .. 51% 31%



SHEET:

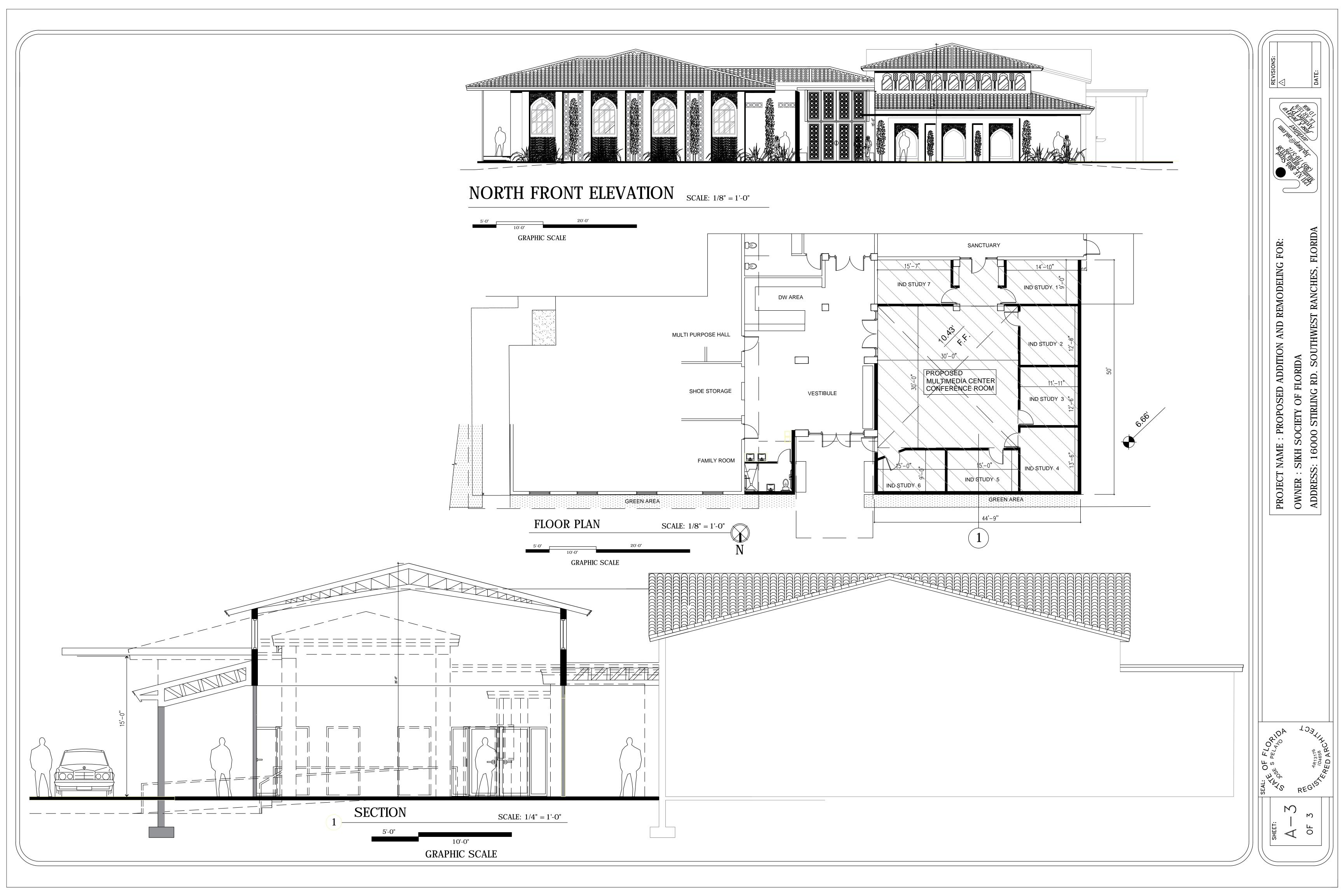
PROJECT NAME : PROPOSED ADDITION AND REMODELING FOR:

OWNER : SIKH SOCIETY OF FLORIDA

ADDRESS: 16000 STIRLING RD. SOUTHWEST RANCHES, FLORIDA



REVISIONS:







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| 5841 SW 163 AVE           | SOUTHWEST RANCHES                   | Fl 33331       |
| 16361 ONTARIO PL          | DAVIE                               | Fl 33331       |
| 16321 STIRLING RD         | SOUTHWEST RANCHES                   | Fl 33331       |
| 6101 SUPERIOR BLVD        | DAVIE                               | Fl 33331       |
| 15911 SEDGEWYCK CIR N     | SOUTHWEST RANCHES                   | FL33331        |
| 16381 ONTARIO PL          | DAVIE                               | Fl 33331       |
| 16301 STIRLING ROAD       | FORT LAUDERDALE                     | FL33331        |
| 16301 STIRLING ROAD       | SOUTHWEST RANCHES                   | Fl 33331       |
| 5851 SW 163 AVE           | SOUTHWEST RANCHES                   | Fl 33331       |
| 5721 SW 162 AVE           | SOUTHWEST RANCHES                   | Fl 33331       |
| 5730 SW 163 AVE           | SOUTHWEST RANCHES                   | Fl 33331       |
| 2640 SW 62 AVE            | MIAMI                               | Fl 33155       |
| 6301 SW 160 AVE           | SOUTHWEST RANCHES                   | Fl 33331       |
| 5901 SW 160 AVE           | SOUTHWEST RANCHES                   | Fl 33331       |
| 7030 W 12 LN              | HIALEAH                             | Fl 33014       |
| 5750 SW 163RD AVE         | SOUTHWEST RANCHES                   | FL33331        |
| 16321 ONTARIO PL          | DAVIE                               | FL33331        |
| 16291 STIRLING RD         | SOUTHWEST RANCHES                   |                |
| 16201 STIRLING ROAD       | SOUTHWEST RANCHES                   | FL33331        |
| 4077 HOLLY CT             | WESTON                              | FL33331        |
| 6081 SUPERIOR BLVD        | DAVIE                               | FL 33331       |
| 6201 SW 160 AVE           | SOUTHWEST RANCHES                   |                |
| 5722 S FLAMINGO RD #176   | COOPER CITY                         | FL 33331       |
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| 16110 STIRLING ROAD       | SOUTHWEST RANCHES SOUTHWEST RANCHES |                |
| 16040 SW 60 ST            |                                     | FL33331        |
| 16360 STIRLING RD         | SOUTHWEST RANCHES                   | FL 33331       |
| 16200 ONEIDA PL           | DAVIE                               | FL 33331       |
| 16540 SW 62 ST            | SOUTHWEST RANCHES                   | FL 33331       |
| 6301 SW 160 AVE           | SOUTHWEST RANCHES                   | FL33331        |
| 16231 SW 60 ST            | SOUTHWEST RANCHES                   | FL 33331       |
| 5785 SW 160 AVE           | SOUTHWEST RANCHES                   | FL 33331       |
| 5731 SW 162 AVE           | SOUTHWEST RANCHES                   |                |
| 16300 STIRLING ROAD       | SOUTHWEST RANCHES                   |                |
| 16400 STIRLING ROAD       | SOUTHWEST RANCHES                   |                |
| 5661 DYKES ROAD           | SOUTHWEST RANCHES                   | FL 33331       |
| 5741 SW 162 AVE           | SOUTHWEST RANCHES                   | FL 33331       |
| 5740 SW 163RD AVE         | SOUTHWEST RANCHES                   | FL 33331       |
| 19031 NW 12 ST            | PEMBROKE PINES                      | Fl 33029       |
| 16000 STIRLING ROAD       | SOUTHWEST RANCHES                   | FI 33331       |
| 5820 SW 164 TER           | SOUTHWEST RANCHES                   | FL 33331       |
| 5910 SW 164TH TER         | SOUTHWEST RANCHES                   | FL 33331       |
| 5801 SW 163RD AVE         | SOUTHWEST RANCHES                   | FL 33331       |
| 6141 SUPERIOR BLVD        | DAVIE                               | FL 33331       |
| 16040 SW 61ST CT          | SOUTHWEST RANCHES                   | FL 33331       |
| 16541 SW 62 ST            | SOUTHWEST RANCHES                   | Fl 33331       |
| 6161 SUPERIOR BLVD        | DAVIE                               | Fl 33331       |
| 5901 SW 162 AVE           | SOUTHWEST RANCHES                   | Fl 33331       |
| 5841 SW 162 AVE           | SOUTHWEST RANCHES                   | FL 33331       |
| 6121 SUPERIOR BLVD        | DAVIE                               | Fl 33331       |
| 5901 SW 160 AVE           | SOUTHWEST RANCHES                   | Fl 33331       |
| 5900 SW 164 TER           | SOUTHWEST RANCHES                   | Fl 33331       |
| 16310 STIRLING ROAD       | SOUTHWEST RANCHES                   | Fl 33331       |
| 16041 SW 61 CT            | SOUTHWEST RANCHES                   | Fl 33331       |
| 16301 SW 62 ST            | SOUTHWEST RANCHES                   | Fl 33331       |
| 5821 SW 162 AVE           | SOUTHWEST RANCHES                   | Fl 33331       |
| 5745 DYKES ROAD           | SOUTHWEST RANCHES                   | Fl 33331       |
| 241 SW 5 CT               | POMPANO BEACH                       | Fl 33060       |
| 6211 SW 161ST AVE         | SOUTHWEST RANCHES                   | Fl 33331       |
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51400516001( SOUTH BROWARD DRAINAGE DISTRICT

51400525006( WALTEROS, MARIA INES

51400513153( TONKIN, ELIZABETH A

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Town of Southwest Ranches 13400 Griffin Road Southwest Ranches, FL 33330-2628

(954) 434-0008 Town Hall (954) 434-1490 Fax Town Council Doug McKay, Mayor Gary Jablonski, Vice Mayor Freddy Fisikelli, Council Member Bob Hartmann, Council Member Denise Schroeder, Council Member

Andrew D. Berns, Town Administrator Keith M. Poliakoff, JD, Town Attorney Russell Muniz, Assistant Town Administrator/Town Clerk Martin D. Sherwood, CPA, CGMA, CGFO, Town Financial Administrator

### **COUNCIL MEMORANDUM**

TO: Honorable Mayor McKay and Town Council

VIA: Andrew D. Berns, Town Administrator

**FROM:** Keith Poliakoff, Town Attorney

**DATE:** 4/11/2019

**SUBJECT:** Zoning In Progresss - Nurseries

#### Recommendation

Town Council consideration for a motion to approve the resolution.

### <u>Unanimous Vote of the Town Council Required?</u>

No

### Strategic Priorities

A. Sound Governance

### **Background**

As vacant lands become scarce in Broward County, more and more nursery operators are looking to open commercial nursery operations within the Town. Although the Town prides itself on being rural, commercial nursery operations have been popping up in the middle of residential communities, without any regard to access or minimum lot size requirements.

The commercial traffic generated by these nurseries are causing damage to the Town's rural roadway network, and creating unsafe conditions. As a result, the Town is now forced to enact guidelines to properly site commercial nursery operations in order to ensure the health, safety, and welfare of its residents.

In order to give the Town the necessary time to fully examine this matter, a zoning in progress was enacted on April 12, 2018, pursuant to Resolution No. 2018-046. The Town

needs some additional time to finalize an appropriate solution, and as such an extension of the enacted zoning in progress is necessary.

### Fiscal Impact/Analysis

N/A

### **Staff Contact:**

Keith Poliakoff, Town Attorney

### **ATTACHMENTS:**

Description Upload Date Type

Zoning In Progress - Nurseries 4/3/2019 Resolution

#### RESOLUTION NO. 2019-\_\_\_

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, ENACTING A ZONING IN PROGRESS, PURSUANT TO SECTION 005-240 OF THE TOWN'S UNIFIED LAND DEVELOPMENT CODE, TO FURTHER REGULATE ANY NEW COMMERCIAL NURSERY, EXPANSION OF AN EXISTING COMMERCIAL NURSERY, OR STORAGE OR GROWTH OF ANY PLANT MATERIAL IN CONTAINERS; ENACTING A ZONING IN PROGRESS FOR A PERIOD OF TIME NOT TO EXCEED SIX (6) MONTHS OR UNTIL THE TOWN'S REVISED REGULATIONS HAVE BEEN ADOPTED, WHICHEVER IS SOONER; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

**WHEAREAS,** as vacant lands become scarce in Broward County, more and more commercial nursery operators are looking to open commercial nursery operations within the Town; and

**WHEREAS,** although the Town prides itself on being rural, commercial nursery operations have been popping up in the middle of residential communities, without any regard to access or minimum lot size requirements; and

**WHEREAS,** the commercial traffic generated by these commercial nurseries are causing damage to the Town's rural roadway network, and creating unsafe conditions; and

**WHEREAS,** as a result, the Town is now forced to enact guidelines to properly site commercial nursery operations in order to ensure the health, safety, and welfare of its residents; and

**WHEREAS,** in order to give the Town the necessary time to fully examine this matter, a zoning in progress is necessary;

# NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:

<u>Section 1.</u> Recitals. That the foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution.

- **Section 2.** That in furtherance of Section 005-240 of the Town's Unified Land Development Code ("ULDC"), the Town Council hereby establishes a zoning in progress to further regulate any new commercial nursery, expansion of an existing commercial nursery, or storage or growing of any plan material in containers.
- **Section 3.** The Town shall prohibit the creation of any new commercial nursery operation until this zoning in progress has been terminated.
- **Section 4.** This zoning in progress shall place a temporary hold on the issuance of any permit, business tax receipt, or certificate of use, for any new, or the expansion of, a commercial nursery operation in the Town for a period of time not to exceed six (6) months or until the Town's revised regulations have been adopted, whichever is sooner.
- <u>Section 5.</u> Conflicts. All Ordinances or parts of Ordinances, Resolutions, or parts of Resolutions in conflict herewith, be and the same are hereby repealed to the extent of such conflict.
- <u>Section 6.</u> Severability. If any clause, section or other part of this Resolution shall be held by any court of competent jurisdiction to be unconstitutional or invalid, such unconstitutional or invalid part shall be considered as eliminated and in no way affecting the validity of the other provisions of this Resolution.
- <u>Section 7.</u> **Effective Date.** This Resolution shall become effective immediately upon its passage and adoption.

[Signatures on Following Page]

## **PASSED AND ADOPTED** by the Town Council of the Town of Southwest

| Ranches, Florida, this 11 <sup>th</sup> day of April 201 | .9 on a motion by                    |  |
|--|--------------------------------------|--|
| and seconded by  | ·                                    |  |
| McKay Jablonski Fisikelli Hartmann Schroeder             | Ayes<br>Nays<br>Absent<br>Abstaining |  |
| ATTEST:  | Doug McKay, Mayor                    |  |
| Russell Muñiz, Assistant Town Administ                   | rator/Town Clerk                     |  |
| Approved as to Form and Correctness:                     |                                      |  |
| Keith Poliakoff, J.D., Town Attorney 34725582.1          |                                      |  |

## REGULAR MEETING MINUTES OF THE TOWN COUNCIL Southwest Ranches, Florida

Thursday 7:00 PM

February 28, 2019

13400 Griffin Road

Present:
Mayor Doug McKay
Vice Mayor Gary Jablonski
Council Member Bob Hartmann
Council Member Denise Schroeder

Andrew Berns, Town Administrator Russell Muñiz, Assistant Town Administrator/Town Clerk Martin D. Sherwood, Town Financial Administrator Keith Poliakoff, Town Attorney

Regular Meeting of the Town Council of Southwest Ranches was held at 13400 Griffin Road in the Southwest Ranches Council Chambers. The meeting, having been properly noticed, was called to order by Mayor McKay at 7:10 PM. Attendance was noted by roll call and was followed by the Pledge of Allegiance.

#### 3. Public Comment

The following members of the public addressed the Town Council: Manmeet Kaur, Pavitpaul Singh, David Kuczenski, Brad McBride, Michele McBride, Greg Warren, Jim Laskey, Luke Hansford, and Mary Gay Chaples.

### 4. Board Reports

There were no board reports.

#### 5. Council Member Comments

Council Member Hartmann announced that the Country Estates Homeowners Association will be having their 4<sup>th</sup> Annual Barbecue on March 30<sup>th</sup> and invited everyone to attend.

He reported that he has received various phone calls from residents with concerns about their agriculture exemption being taken away. He explained that a lot of information posted on social media is incorrect, and invited all residents who are concerned and/or would like to give their input to attend the Comprehensive Planning Board meetings to participate in the nursery landscape commercial operation ordinance discussions. Lastly, he welcomed back Council Member Schroeder who had surgery recently.

Vice Mayor Jablonski announced upcoming Town events such as the Household Hazardous Waste & Prescription Drop Off Day, Water Matters Day, and the Schools and Education Advisory Board's Barn Dance all on March 9<sup>th</sup>, the Broward County Property Appraiser's Office Outreach on March 18<sup>th</sup>, the DMV Flow Mobile on March 28<sup>th</sup> and the Sikh Society Run/Walk and the Country Estates Homeowners Association Barbecue both on March 30<sup>th</sup>. Lastly, he reminded everyone about Daylight Savings time on March 10<sup>th</sup>.

Council Member Schroeder announced that she was happy to be back and thanked everyone for all of their well wishes on her recent surgery, especially David Kuczenski, Mary Gay Chaples, Town Council, Town Staff, and friends.

Mayor McKay welcomed Council Member Schroeder back and was glad to see her looking well. He informed of his day trip to Tallahassee for Broward Days in order to lobby for the Town to receive funding for various issues. He announced another upcoming trip to Tallahassee for Broward Days. He thanked everyone for coming and asked residents to reach out to him and/or other members of Town Council if they have any issues they would like addressed.

#### 6. Legal Comments

Town Attorney Poliakoff welcomed Council Member Schroeder back and thanked everyone for coming to the meeting. Next, he presented a Power Point where he explained the ongoing issue between the Town and the McBride property. He showed a Broward County Property Appraiser's map of Palomino including the names of residents that live in that area. He explained that Palomino Drive is a unique street in Sunshine Ranches because Broward County created it with a swale and a horse trail only on one side of the road. Many years ago, there was a complaint that all of Palomino residents' fencing was not located within their property line. The residents were cited by Code Enforcement. The issue began after a hurricane blew part of the McBride's fence down, so they put up a new fence without a permit. The neighbors called to complain, so Code Enforcement Director Robert Solera cited them for not having a permit for the construction of the fence. Mr. McBride provided an after the fact survey which showed where he wanted to put up the fence. The after the fact survey was also denied because it showed that the fence was on Town property. In an effort to avoid litigation and come to a resolution, the Town Council offered for the McBride's to put their fence on their property line until it needs to be replaced, and while the Town is not building the connection to Griffin Road, they would be allowed to use 50% of the property to put a fence and gain much more property making the barn in compliance. The offer was rejected by the McBride's, and they filed suit against the Town.

Town Attorney Poliakoff went on to explain that the issue began with a developer who built two homes on Palomino, and was told that as a condition precedent to issuing the certificate of occupancy, the right of way had to be dedicated in order to finish the swale. Since the developer no longer owned the property, the Statute of Limitations Law says that if a deed has been conveyed illegally or improperly and it is not challenged in twenty years, it can no longer be challenged.

As for the other residents that live on Palomino, the Zacco's and the Caparro's, were offered the same condition as the McBride's, and signed a Maintenance Indemnification Work Agreement (MIW). The Perez's are currently working with Town Council in an effort to come to a resolution. Lastly, the Calabrese's and the Holt's have all agreed to resolve their issues, and put their fences on their property line.

The Town Council's position is to be open and willing to work together to solve the issue. They tried through mediation to resolve the issue with the McBride's, but they did not accept the offer. Therefore, the Town Council will continue with litigation, and if this goes the duration, the barn, fence, and the columns will have to come down.

#### 7. Administration Comments

Town Administrator Berns welcomed Council Member Schroeder back after her recent surgery. He added that Council Member Fisikelli was not feeling well tonight, and advised Town Council to make a motion to excuse his absence.

The following motion was made by Vice Mayor Jablonski, and seconded by Council Member Hartmann, and passed by a 4-0 roll call vote. The vote was as follows: Council Members Hartmann, Schroeder, Vice Mayor Jablonski, and Mayor McKay voting Yes.

**MOTION:** TO EXCUSE COUNCIL MEMBER FREDDY FISIKELLI.

#### Resolutions

**8.** A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING AN AGREEMENT IN THE AMOUNT OF FIFTY-NINE THOUSAND THREE HUNDRED TWENTY-FOUR DOLLARS AND NINETY CENTS (\$59,324.90) WITH PHI CONSTRUCTION, INC. TO CONSTRUCT IMPROVEMENTS IN THE FRONTIER TRAILS CONSERVATION AREA; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO ENTER INTO AN AGREEMENT; APPROVING A BUDGET AMENDMENT TO THE FISCAL YEAR 2018/2019 BUDGET FOR THE FRONTIER TRAILS PARK IMPROVEMENT; AND PROVIDING AN EFFECTIVE DATE.

The following motion was made by Vice Mayor Jablonski, seconded by Council Member Hartmann, and passed by a 4-0 roll call vote. The vote was as follows: Council Members Hartmann, Schroeder, Vice Mayor Jablonski, and Mayor McKay voting Yes.

#### MOTION: TO APPROVE THE RESOLUTION.

### Discussion

#### 9. Annual Review of Charter Officials

Town Attorney Poliakoff explained the process for the annual review of Charter Officials. He met with Town Administrator Berns and they were seeking a 3% bonus. Town Attorney Poliakoff suggested 5%, but although Town Administrator Berns was appreciative of the Town Attorney's suggestion, he still felt that the same percentage budgeted for Staff was appropriate. Council Member Schroeder made a motion for all three Charter Officials to receive a 5% performance bonus, and Mayor McKay seconded the motion. Council Member Schroeder mentioned that similar officials at other municipalities earn significantly more money, therefore she felt that the Charter Officials deserve the 5% performance bonus.

Council Member Jablonski suggested a flat rate for a performance bonus, as opposed to a percentage rate. He opined that Town Administrator Berns should receive \$6,000.00, Town Financial Administrator Sherwood \$5,000.00, and Assistant Town Administrator/Town Clerk Muñiz, \$5,000.00. He felt that they deserved it, and that the Town could afford it. Mayor McKay expressed his support of the 5% bonus for each of them. Council Member Hartmann reminded

that Town Administrator Berns did not want more than a 3% bonus, because he would like to stay in line with Town staff.

Town Administrator Berns wanted to correct for the record that the 3% raise for staff is not a cost of living raise, and it was not given at one time. However, the 3% raise is a merit raise based on performance and could range anywhere from 0-3%. Since last year was a tight budget year, Town Administrator Berns opined that if merit was earned, the raise be capped at 3%. As such he felt uncomfortable accepting a percentage that is higher than the percentage that was available to Town staff. As for Town Financial Administrator Sherwood and Assistant Town Administrator/Town Clerk Muñiz, who are both Charter Officials and report to Town Council, he felt they were not the same as staff, therefore, he expressed that he had no issue with Town Council rewarding excellence or higher performance to them as they see fit.

The following motion was made by Council Member Schroeder, and seconded by Vice Mayor Jablonski, but there was no roll call vote.

**MOTION:** TO PROVIDE 5% BONUS FOR CHARTER OFFICIALS TOWN FINANCIAL ADMINISTRATOR SHERWOOD, AND ASSISTANT TOWN ADMINISTRATOR/TOWN CLERK MUNIZ, AND TO PROVIDE A 3% BONUS FOR CHARTER OFFICIAL TOWN ADMINISTRATOR BERNS.

After further discussion the Town Council agreed to award 5% performance bonus to all three Charter Officials.

The following motion was made by Council Member Schroeder, and seconded by Mayor McKay, and passed by a 4-0 roll call vote. The vote was as follows: Council Members Hartmann, Schroeder, Vice Mayor Jablonski, and Mayor McKay voting Yes.

**MOTION:** TO AWARD TOWN ADMINISTRATOR BERNS, TOWN FINANCIAL ADMINISTRATOR SHERWOOD, AND ASSISTANT TOWN ADMINISTRATOR/TOWN CLERK MUNIZ A 5% PERFORMANCE BONUS.

### 10. Proposed FY 2019-2020 Budget Calendar

The following motion was made by Vice Mayor Jablonski, and seconded by Council Member Hartmann, and passed by a 4-0 roll call vote. The vote was as follows: Council Members Hartmann, Schroeder, Vice Mayor Jablonski, and Mayor McKay voting Yes.

**MOTION:** TO CHANGE THE  $1^{ST}$  BUDGET HEARING DATE FROM SEPTEMBER 11TH TO SEPTEMBER  $12^{TH}$ .

The following motion was made by Vice Mayor Jablonski, and seconded by Council Member Schroeder, and passed by a 4-0 roll call vote. The vote was as follows: Council Members Hartmann, Schroeder, Vice Mayor Jablonski, and Mayor McKay voting Yes.

**MOTION:** TO APPROVE THE MINUTES.

### 11. Approval of Minutes

- a. November 15, 2018
- b. January 24, 2019

| 12. | Adjournment - | Meeting | was ad | journed | at 8:59 | PM. |
|-----|---------------|---------|--------|---------|---------|-----|
|-----|---------------|---------|--------|---------|---------|-----|

| Respectfully submitted:  |  |
|--|--|
| Ivette Solera, Deputy Town Clerk, CMC                                      |  |
| Adopted by the Town Council on this <u>11th</u> day of <u>April, 2019.</u> |  |
| Doug McKay, Mayor  |  |

PURSUANT TO FLORIDA STATUTES 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS COUNCIL WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE OR SHE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, THE AFFECTED PERSON MAY NEED TO ENSURE THAT VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHERWISE INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.



#### 2018-2019 OFFICERS

President Tim Lonergan
Commissioner, Oakland Park
1st Vice President Daniel J. Stermer
Mayor, Weston
2nd Vice President Traci Callari
Vice Mayor, Hollywood
Secretary Beverly Williams
Commissioner, Lauderdale Lakes
Treasurer Gary Resnick
Commissioner, Wilton Manors

#### **DIRECTORS**

**Immediate Past President Dan Daley** Commissioner, Coral Springs Past President Greg Ross Past President Susan Starkey Councilmember, Davie Past President M. Margaret Bates Vice Mayor, Lauderhill Past President Frank Ortis Barbara Baldasarre Commissioner, Hillsboro Beach Gloria Battle Vice Mayor, Deerfield Beach Peggy Brown Commissioner, Weston Felicia Brunson Commissioner, West Park Anthony Caggiano Mark Douglas Rhonda Eaton Commissioner, Pompano Beach Justin Flippen Mayor, Wilton Manors Michelle Gomez Mayor, Tamarac **Bill Harris** Commissioner, Dania Beach Dale Holness Vice Mayor, Broward County Anabelle Lima-Taub Commissioner, Hallandale Beach Bob Mayersohn Commissioner, Parkland
Doug McKay
Mayor, Southwest Ranches
Wayne Messam Mayor, Miramar Ashira Mohammed Mayor, Pembroke Park **Heather Moraitis** Commissioner, Fort Lauderdale Tim Neal Councilmember, Sea Ranch Lakes Alfred "Buz" Oldaker Commissioner, Lauderdale-by-the-Sea Iris Siple Commissioner, Pembroke Pines Lvnn Stoner Mayor, Plantation Ken Thurston Mayor, Lauderhill Becky Tooley Commissioner, Coconut Creek Glenn Troast Mayor, Lighthouse Lorenzo Wood Commissioner, North Lauderdale

Samuel S. Goren, Esquire Goren Cherof Doody & Ezrol, PA Legal Counsel

Mary Lou Tighe Executive Director Sely Cochrane Deputy Executive Director

### **MEMORANDUM**

To: City Clerks

From: Mary Lou Tighe, Executive Director

Date: March 20, 2019

Re: 2019-20 Board of Director Appointments

According to the League By-Laws:

- Each city shall appoint a Director, Alternate, and Second Alternate to attend and vote at any Board of Directors or General Membership meeting held where he/she represents his/her municipality.
- It is the responsibility of each Director to communicate with his/her respective municipal officials, employees, and constituents concerning actions taken or to be taken by the Board of Directors or the general membership. Directors are responsible for bringing issues of collective importance to the attention of the Board of Directors.
- Each member of the Board of Directors shall notify his or her Alternate to attend Board of Director Meetings when that voting member will not attend. The Alternate shall have the right to participate and vote. In the event the Alternate cannot attend, the Alternate shall notify his or her Second Alternate to attend Board of Director meetings when the Alternate cannot attend. The Second Alternate shall have the right to participate and vote.

Please agenda the selection of your Director, Alternate, and Second Alternate for your **next** commission meeting **as the deadline for board appointments is April 18, 2019**. The term will begin on May 18, 2019 and end in May of 2020.

| Please forward the information below to scochrane@browardleagu | ue.org |
|--|--------|
| Municipality:  |        |
| Commissioner/Council Appointments:                             |        |
| Director:  |        |
| Alternate:   |        |
| Second Alternate:  |        |