



# Southwest Ranches Town Council

## REGULAR MEETING Agenda of April 11, 2019

Southwest Ranches Council Chambers  
**7:00 PM Thursday**

13400 Griffin Road  
Southwest Ranches, FL 33330

<b><u>Mayor</u></b> Doug McKay	<b><u>Town Council</u></b> Freddy Fisikelli Bob Hartmann	<b><u>Town Administrator</u></b> Andrew D. Berns	<b><u>Town Attorney</u></b> Keith M. Poliakoff, J.D.
<b><u>Vice Mayor</u></b> Gary Jablonski	Denise Schroeder	<b><u>Town Financial Administrator</u></b> Martin Sherwood, CPA CGFO	<b><u>Assistant Town Administrator/Town Clerk</u></b> Russell C. Muniz, MMC

In accordance with the Americans with Disabilities Act of 1990, persons needing special accommodation, a sign language interpreter or hearing impaired to participate in this proceeding should contact the Town Clerk at (954) 434-0008 for assistance no later than four days prior to the meeting.

- 1. Call to Order/Roll Call**
- 2. Pledge of Allegiance**
- 3. Volunteer Appreciation Day Proclamation**

### Quasi-Judicial Hearings

Please be advised that the following item on the Council agenda is quasi-judicial in nature. All witnesses who will testify on any item in this portion of the Agenda will be sworn. Participants who are members of the general public need not be sworn and will not be subject to cross-examination if they are not sworn. However, the Council shall not assign un-sworn testimony the same weight or credibility as sworn testimony in its deliberations.

The applicant has the burden of proof. After the applicant's concluding remarks, the hearing will be closed and no additional testimony, material or argument will be allowed unless the Council chooses to request additional testimony. The members of the Town Council will then deliberate.

All evidence relied upon by reasonably prudent persons in the conduct of their affairs may be considered in these proceedings, regardless of whether such evidence would be admissible in a court. Hearsay evidence may supplement or explain other evidence, but shall not alone support a conclusion unless it would be admissible over objection in court. The material in the Town Council agenda will be considered as evidence without authentication.

Anyone representing an organization must present written evidence of his or her authority to speak on behalf of the organization in regard to the matter under consideration. Each person who appears during a public hearing shall identify himself or herself and give their address, and if appearing on behalf of an organization state

the name and mailing address of the organization. The Council may, on its own motion or at the request of any person, continue the hearing to a fixed date, time and place.

No notice shall be required if a hearing is continued to a fixed date, time and place. Any Applicant shall have the right to request and be granted one continuance; however, all subsequent continuance shall be granted at the discretion of the Council and only upon good cause shown.

**4. New Horizon Church Site Plan Amendment**

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-70-18 BY NEW HORIZON UNITED METHODIST CHURCH, INC. TO AMEND ITS EXISTING SITE PLAN TO CONSTRUCT A MISSION BUILDING; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

**5. Resolution Approving Site Plan Modification for Sikh Society**

A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-71-18 BY THE SIKH SOCIETY OF FLORIDA, INC. TO AMEND ITS EXISTING SITE PLAN TO ADD AN ADDITIONAL 2,287 SQUARE FEET OF BUILDING AREA TO THE EXISTING FACILITY; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.

**6. Public Comment**

- All Speakers are limited to 3 minutes.
- Public Comment will last for 30 minutes.
- All comments must be on non-agenda items.
- All Speakers must fill out a request card prior to speaking.
- All Speakers must state first name, last name, and mailing address.
- Speakers will be called in the order the request cards were received.
- Request cards will only be received until the first five minutes of public comment have concluded.

**7. Board Reports**

**8. Council Member Comments**

**9. Legal Comments**

**10. Administration Comments**

**Resolutions**

- 11. A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, ENACTING A ZONING IN PROGRESS, PURSUANT TO SECTION 005-240 OF THE TOWN'S UNIFIED LAND DEVELOPMENT CODE, TO FURTHER REGULATE ANY NEW COMMERCIAL NURSERY, EXPANSION OF AN EXISTING**

**COMMERCIAL NURSERY, OR STORAGE OR GROWTH OF ANY PLANT MATERIAL IN CONTAINERS; ENACTING A ZONING IN PROGRESS FOR A PERIOD OF TIME NOT TO EXCEED SIX (6) MONTHS OR UNTIL THE TOWN'S REVISED REGULATIONS HAVE BEEN ADOPTED, WHICHEVER IS SOONER; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.**

**12. Approval of Minutes**

- a. **February 28, 2019 Regular Meeting**

**13. Appointments**

- a. **Broward League of Cities 2019-2020 Director, Alternate, and Second Alternate Appointments**
- b. **Comprehensive Planning Advisory Board Appointment - At Large**

**14. Adjournment**

PURSUANT TO FLORIDA STATUTES 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS COUNCIL WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE OR SHE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, THE AFFECTED PERSON MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHERWISE INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.

**TOWN OF SOUTHWEST RANCHES  
FLORIDA**

**PROCLAMATION**

**WHEREAS**, the Town of Southwest Ranches was predicated on the notion of residents selflessly assisting one another to preserve our rural lifestyle; and

**WHEREAS**, that spirit of selflessness is the basis for volunteerism; and

**WHEREAS**, the Town of Southwest Ranches recognizes that volunteering improves our quality of life and increases community participation and ownership; and

**WHEREAS**, volunteers are vital to our future and we recognize the role they will continue to play in shaping our community; and

**WHEREAS**, it is the express desire of the Town of Southwest Ranches to recognize the hard work, dedication, and passion of our valued volunteers.

**NOW, THEREFORE**, I, Doug McKay, through the authority vested in me as Mayor of the Town of Southwest Ranches, do hereby proclaim April 11, 2019 as

**"VOLUNTEER APPRECIATION DAY"**

in the Town of Southwest Ranches, Florida, and urge all citizens to volunteer and put their hearts into volunteerism throughout the year. By volunteering and recognizing those who serve, we can promote partnership, understanding, and compassion in our community.

**IN WITNESS WHEREOF**, I have hereunto set my hand and caused the official seal of the Town of Southwest Ranches to be affixed hereto this 11<sup>th</sup> day of April, 2019.

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Doug McKay, MAYOR





**Town of Southwest Ranches**  
**13400 Griffin Road**  
**Southwest Ranches, FL 33330-2628**

**(954) 434-0008 Town Hall**  
**(954) 434-1490 Fax**

**Town Council**  
**Doug McKay, Mayor**  
**Gary Jablonski, Vice Mayor**  
**Freddy Fisikelli, Council Member**  
**Bob Hartmann, Council Member**  
**Denise Schroeder, Council Member**

**Andrew D. Berns, Town Administrator**  
**Keith M. Poliakoff, JD, Town Attorney**  
**Russell Muniz, Assistant Town Administrator/Town Clerk**  
**Martin D. Sherwood, CPA, CGMA, CGFO, Town Financial Administrator**

## **COUNCIL MEMORANDUM**

**TO:** Honorable Mayor McKay and Town Council  
**VIA:** Andy Berns  
**FROM:** Jeff Katims  
**DATE:** 4/11/2019  
**SUBJECT:** New Horizon Church Site Plan Amendment

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### **Recommendation**

Staff recommends approval, with conditions.

### **Unanimous Vote of the Town Council Required?**

Yes

### **Strategic Priorities**

A. Sound Governance

### **Background**

New Horizon Church requests approval of a 4,708 square-foot mission building next to the existing church buildings. The building includes offices, meeting space and storage. The application also includes additional landscaping and lighting upgrades to comply with the Town's Dark Sky Ordinance. No additional parking is required or proposed.

### **Fiscal Impact/Analysis**

N/A

### **Staff Contact:**

Jeff Katims, AICP, CNU-A

### **ATTACHMENTS:**

Description	Upload Date	Type
New Horizon Reso - TA Approved	4/3/2019	Resolution
Staff Report	4/3/2019	Backup Material
Mail notice radius map	4/2/2019	Backup Material
Mailing list	4/2/2019	Backup Material
Site Plan & Architectural Drawings	4/3/2019	Exhibit
Landscape Plans	4/3/2019	Exhibit
Engineering Drawings	4/3/2019	Exhibit
Photometric Plan	4/3/2019	Exhibit

**RESOLUTION NO. 2019-**

**A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-70-18 BY NEW HORIZON UNITED METHODIST CHURCH, INC. TO AMEND ITS EXISTING SITE PLAN TO CONSTRUCT A MISSION BUILDING; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, New Horizon United Methodist Church, Inc. is the current owner ("Owner") of the property legally described as the South ½ of Tract "A", New Horizon United Methodist Church, according to the plat thereof recorded in Plat Book 122, Page 46 of the Broward County, Florida Public Records ("Property"); and

**WHEREAS**, Owner requests modification of its existing approved site plan to construct a 4,708 square-foot mission building to be used in conjunction with its existing 16,870 square-foot fellowship hall and classroom buildings. Further, Owner will make landscape improvements, will relocate its dumpster, and will comply with the Town's Dark Sky Ordinance; and

**WHEREAS**, the Town Council of the Town of Southwest Ranches, Florida ("Town Council") finds that the proposed site plan amendment complies with the requirements of the Town's Unified Land Development Code ("ULDC").

**NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:**

**Section 1.** That the foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution.

**Section 2.** That, upon reviewing the application, analysis of the Town Staff, testimony, and the evidence submitted at a duly noticed public hearing held on April 11, 2019 the Town Council hereby approves Site Plan Modification Application No. SP-070-18, in accordance with the following stipulated conditions:

1. Removal of invasive trees on the subject site prior to issuance of a building permit.

2. Certification of actual lighting values by a qualified engineer in conformance with the photometric plan prior to issuance of a C.O.

**Section 3.** The Mayor, Town Administrator and Town Attorney are each authorized to execute any and all documents necessary to effectuate the intent of this Resolution.

**Section 4.** This Resolution shall become effective immediately upon adoption.

**PASSED AND ADOPTED** by the Town Council of the Town of Southwest

Ranches, Florida, this \_\_\_\_ day of \_\_\_\_\_, 2019, on a motion by \_\_\_\_\_

and seconded by \_\_\_\_\_.

McKay \_\_\_\_\_  
Jablonski \_\_\_\_\_  
Fisikelli \_\_\_\_\_  
Hartman \_\_\_\_\_  
Schroeder \_\_\_\_\_

Ayes \_\_\_\_\_  
Nays \_\_\_\_\_  
Absent \_\_\_\_\_  
Abstaining \_\_\_\_\_

\_\_\_\_\_  
Doug McKay, Mayor

ATTEST:

\_\_\_\_\_  
Russell Muniz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

\_\_\_\_\_  
Keith Poliakoff, Town Attorney

## **TOWN OF SOUTHWEST RANCHES TOWN COUNCIL AGENDA REPORT**

**DATE:** April 11, 2019

**SUBJECT:** Site Plan Application SP-70-18; New Horizon United Methodist Church, Inc.

**ADDRESS:** 5741 South Flamingo Road, Southwest Ranches, FL

**LOCATION:** West of South Flamingo Road and north of Stirling Road

**ZONING:** CF, Community Facility

**FUTURE  
LAND USE:** Community Facilities

**AGENT:** Square One Architecture, Inc.

**OWNER/  
PETITIONER:** New Horizon United Methodist Church, Inc.

**REQUEST:** Site plan modification for a new mission building, relocated dumpster enclosure and landscape improvements.

**EXHIBITS:** Staff Report, Aerial Photograph, Mail Notification Radius Map, and Mailing List.

### **BACKGROUND**

The New Horizon United Methodist Church ("Petitioner") owns 14.92 acres between St. Marks Church to the north and Potential Church in Cooper City to the south. The Flamingo Road corridor is to the east and a residence within Southwest Ranches is to the west. A frontage road within the New Horizon property runs parallel to Flamingo Road, connecting it with St. Marks Church and Archbishop McCarthy High School to the north. The frontage road becomes SW 58<sup>th</sup> Street as it turns west along the southern boundary of the New Horizon property, providing access to two residential properties within the Town.

All of New Horizon's facilities are located on a single 5.03-acre tract ("Subject Site"). The remaining 9.89 acres are undeveloped and are unaffected by this Application. The subject site comprises the south half of the New Horizon Methodist Church Plat, which allows church-related uses without limiting the amount of building area.

## **MODIFICATION REQUEST AND ANALYSIS**

Request. The Petitioner requests approval of a mission building adjacent to the existing fellowship hall and classroom building. The building is designed for 4,708 square feet of office, assembly and storage use within a 3,490 square-foot ground floor and 1,218 square-foot partial second floor. The mission building replaces a 1,200 square-foot modular church office that was removed in 2016.

Site development standards. The new building would bring the total building area on the subject site to 21,578 square feet, resulting in a Floor Area Ratio of 0.98 where a maximum of 0.35 is permitted (complies), a plot coverage of 8.1% where a maximum of 35% is permitted (complies), and an impervious area of 54.6% where a maximum of 60% is permitted (complies). The building substantially exceeds the minimum setback requirements on all sides.

Parking. A total of 96 parking spaces are required for the existing facilities based upon the code requirement of one space per 50 square feet of public assembly area. Implicit in the code requirement is that ancillary facilities are either not used concurrent with the main worship area, or do not generate substantial need for parking, such as Sunday school classrooms and administrative offices. The existing 152 onsite parking spaces are sufficient to accommodate full use of the public assembly facilities, including the approximately 1,800 square-feet of new assembly area in the mission hall, as well as the Sunday school classrooms. Together, these facilities would require 148 parking spaces, resulting in a 4-space surplus.

Architecture. The proposed mission building features a sloping, blue standing-seam metal roof. The roof height of 27 feet and 2 inches to its highest point complies with the 35-foot height limit in the CF District.

Landscaping. The site plan provides southern live oaks and a hedge between the parking lot and Flamingo Road canal, a hedge in between the existing fellowship building and SW 58<sup>th</sup> Street, and foundation landscaping on the west and east sides of the proposed mission building. Invasive trees will be removed prior to issuance of a building permit.

The existing dumpster will be relocated from its current location, in front of the proposed mission building, to the northwest side of the parking area, and will have an opaque 6.5-foot-high enclosure with firebush shrubs along the perimeter to providing screening.

Lighting. The Petitioner is replacing its noncompliant parking lot fixtures with full-cutoff fixtures that will result in no light spillover onto abutting properties and rights-of-way.

Outside agency approvals. The Central Broward Water Control District and Fire Marshall have approved the site plan modification.

**STAFF RECOMMENDATION:**

Staff finds that Application No. SP-70-18 complies with the applicable requirements of the Unified Land Development code, and recommends approval subject to the following conditions:

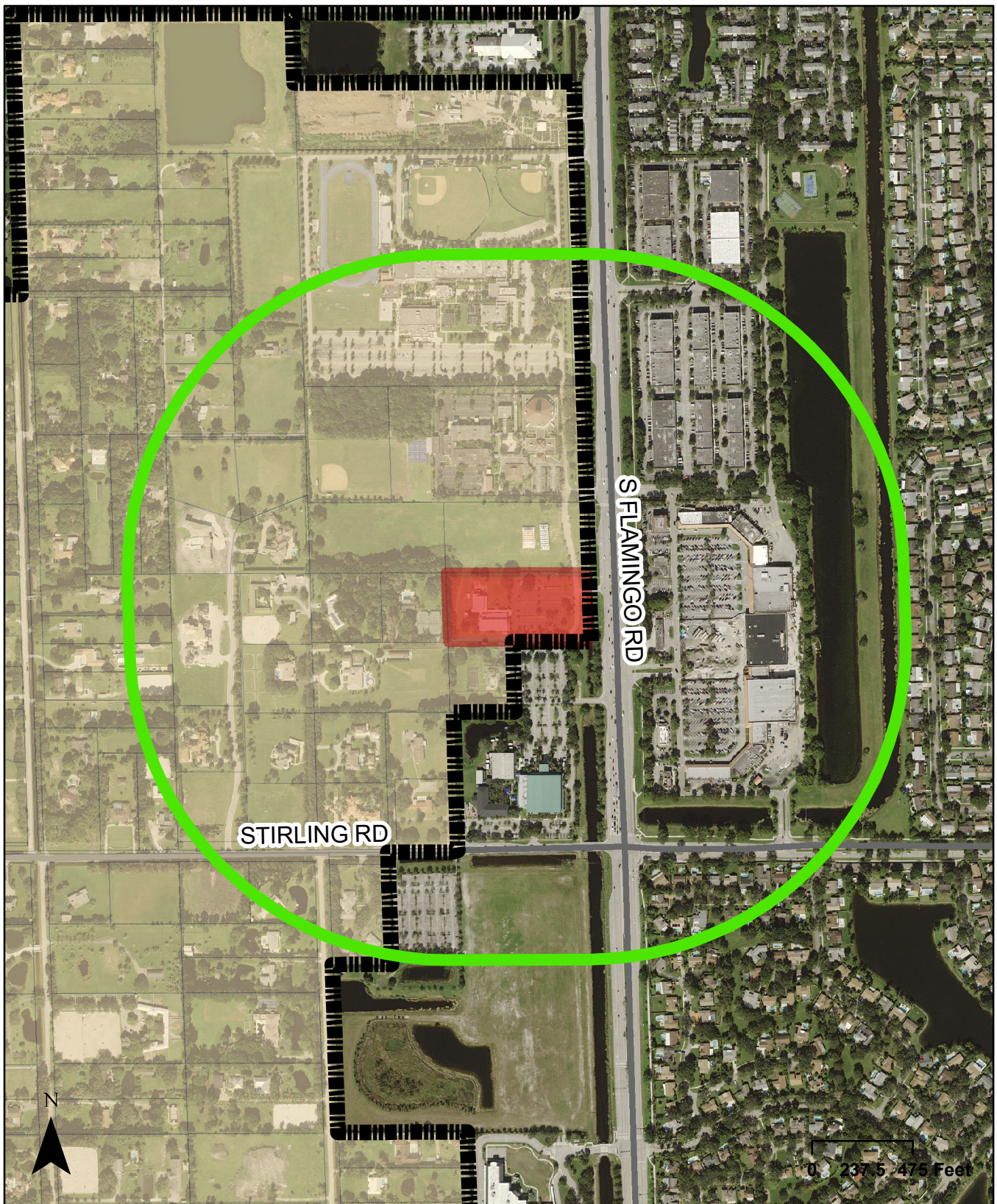
1. Removal of invasive trees on the subject site prior to issuance of a building permit.
2. Certification of actual lighting values by a qualified engineer in conformance with the photometric plan prior to issuance of a C.O.

**AERIAL MAP**



**Aerial Map | New Horizon United Methodist Church**  
**5741 S. Flamingo Road**





1,500 Ft Notice Area

Southwest Ranches Boundary

5741 S. Flamingo Road

Southwest Ranches Parcels

**Location Map | New Horizon United Methodist Church**  
**5741 S. Flamingo Road**



BCPA_TAX_ROLL.NAME_LINE_1	BCPA_TAX_ROLL.NAME_LINE_2
MILLER,RICHARD	
NEW HORIZON UNITED METHODIST CHURCH INC	
SCHWARTZ,STEPHEN	
RHODES,PAMELA SEGAL H/E	RHODES,JACOB
KRUTCHIK,JONATHAN A & TAMMY	
GAM LAND INVESTMENTS LLC	
ALONSO,ARMANDO	
RATLIFF,BARBARA H/E	RATLIFF,TODD
WINNER,STEVEN A & NANCY B	
JENKS,JONATHAN E	
GAM LAND INVESTMENTS LLC	
ARCHDIOCESE OF MIAMI	ST MARK CHURCH
MEARS,ALBERT C SR	ALBERT C MEARS SR REV LIV TR
ARIN,ESRA	
SHERIDAN HOUSE INC	
GAM LAND INVESTMENTS LLC	
ENGLISH,JENNIFER A	
CALLAWAY,ROBERT L JR & PATRICIA	
SAMUELSON,WALTER T &	SAMUELSON,LUANN M
ARCHDIOCESE OF MIAMI	ST MARK CHURCH
HAY,SCOTT ALAN	
ARCHDIOCESE OF MIAMI	EDWARD A. MCCARTHY H.S.
JENSEN,DAMARIS & STEVE	
MCCARTNEY,SHELDON W	
FAHIMIPOUR,MEHRDAD & COTY	
ARCHDIOCESE OF MIAMI	ST MARK CHURCH
NEW HORIZON UNITED METHODIST	CHURCH INC
LOPEZ,JENNIFER N	JENNIFER N LOPEZ TR
DISBERGEN,GERRIT	
MILLER,RICHARD	
FRENCH,RICHARD D & KAREN R	
NEW HORIZON UNITED METHODIST	CHURCH INC
ANDRADE,MARIANO & CLAUDIA XUE	
PEACEFUL HAVEN RANCH GROUP F	INC
PEACEFUL HAVEN RANCH GROUP F	INC
POTENTIAL CHURCH INC	%FINANCE DEPARTMENT
VOLUNTEER REALTY CO	
TOWN OF SOUTHWEST RANCHES	
TOWN OF SOUTHWEST RANCHES	
EVERGLADES SUGAR & LAND CO LLC	
BLAIR,MARY ANN H/E	BLAIR,OLIVER ANDREW ETAL
POTENTIAL CHURCH INC	%FINANCE DEPARTMENT
GEARY,MICHAEL S & LAURA V	
FERNANDEZ,FRANCISCO M	GONZALEZ-FERNANDEZ,ODALIS P
5741 SW 127 AVENUE LLC	
PORTELA,FERNANDO & DARYL	
FERNANDEZ,ALEXANDER & LOURDES	

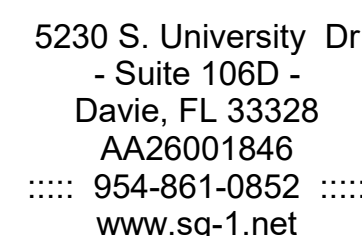
BCPA_TAX_ROLL.ADDRESS_LINE_1	BCPA_TAX_ROLL.CITY
12850 SW 56TH ST	SOUTHWEST RANCHES
5741 S FLAMINGO ROAD	SOUTHWEST RANCHES
5750 SW 127 AVE	SOUTHWEST RANCHES
12851 STIRLING ROAD	SOUTHWEST RANCHES
5780 SW 128 AVE	SOUTHWEST RANCHES
2700 SW 64 AVE	DAVIE
1704 SW 142 AVE	FORT LAUDERDALE
5800 SW 130 AVE	SOUTHWEST RANCHES
5951 SW 127 AVE	SOUTHWEST RANCHES
12851 SW 56 ST	SOUTHWEST RANCHES
2700 SW 64 AVE	DAVIE
9401 BISCAYNE BLVD	MIAMI SHORES
5740 SW 130 AVE	SOUTHWEST RANCHES
4157 IMPERIAL WAY	PROVO
1700 S FLAMINGO RD	DAVIE
2700 SW 64 AVE	DAVIE
5810 SW 130TH AVE	SOUTHWEST RANCHES
5490 SW 128TH AVE	SOUTHWEST RANCHES
12737 EQUESTRIAN TR	DAVIE
9401 BISCAYNE BLVD	MIAMI SHORES
12751 SW 56 ST	SOUTHWEST RANCHES
9401 BISCAYNE BLVD	MIAMI SHORES
5925 SW 128 AVE	SOUTHWEST RANCHES
5790 SW 130 AVE	SOUTHWEST RANCHES
1826 SW 195 AVE	MIRAMAR
9401 BISCAYNE BLVD	MIAMI SHORES
5741 S FLAMINGO ROAD	SOUTHWEST RANCHES
5742 SW 130 AVE	SOUTHWEST RANCHES
12401 SW 58 ST	SOUTHWEST RANCHES
5700 SW 130TH AVE	SOUTHWEST RANCHES
5950 SW 127 AVE	SOUTHWEST RANCHES
5741 S FLAMINGO ROAD	SOUTHWEST RANCHES
6001 APPALOOSA TRL	SOUTHWEST RANCHES
12601 STIRLING ROAD	SOUTHWEST RANCHES
12601 STIRLING ROAD	SOUTHWEST RANCHES
12401 STIRLING ROAD	COOPER CITY
4900 DAVIE ROAD	DAVIE
13400 GRIFFIN RD	SOUTHWEST RANCHES
13400 GRIFFIN RD	SOUTHWEST RANCHES
5361 NW 110 AVE	MIAMI
6011 SW 127 AVE	SOUTHWEST RANCHES
12401 STIRLING ROAD	COOPER CITY
5990 SW 127TH AVE	SOUTHWEST RANCHES
14011 NW 13 ST	PEMBROKE PINES
5700 GRIFFIN RD #200	DAVIE
5801 SW 127 AVE	SOUTHWEST RANCHES
5920 SW 127 AVE	SOUTHWEST RANCHES

BCPA_TAX_ROLL.STATE	BCPA_TAX_ROLL.ZIP
FL	33330
FL	33330
FL	33330
FL	33330
FL	33330
FL	33314
FL	33325
FL	33330
FL	33330
FL	33330
FL	33330
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FL	33330
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FL	33028
FL	33314
FL	33330
FL	33330









New Horizon United Methodist Church  
Mission Building  
5741 S Flamingo Rd, Southwest Ranches, FL 33330

[illegible]

**NOT FOR CONSTRUCTION**

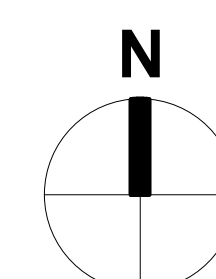
John Norman Garra  
Florida Architect AR92545

## Site Demolition Plan

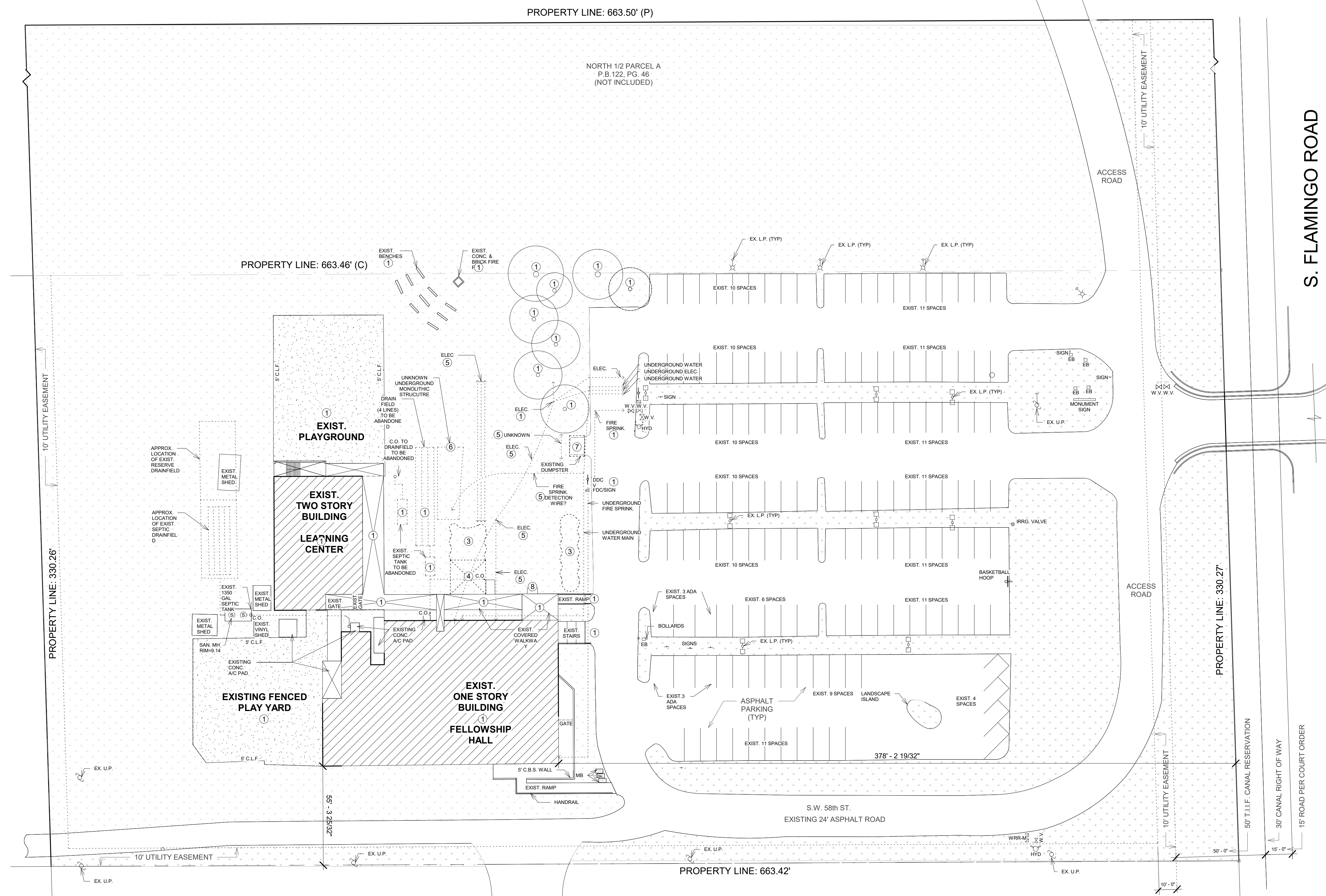
Date	11/30/2018
Drawn by	LEA

D010

Scale	As indicated
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COPYRIGHT 2017



1 1.0 - Site Demolition Plan  
1" = 30'-0"

### SITE DEMOLITION LEGEND

 EXISTING BUILDINGS  
 UNDERGROUND UTILITIES  
 DEMOLISH

### SITE DEMOLITION PLAN NOTES

- |    |   |
|----|---|
| 1. | EXISTING. DO NOT DISTURB.                                 |
| 2. | N.A.  |
| 3. | REMOVE EXISTING ORNAMENTAL LANDSCAPE.                     |
| 4. | REMOVE EXISTING WOODEN DECK.                              |
| 5. | REMOVE AND RELOCATE EXISTING UNDERGROUND UTILITY SERVICE. |
| 6. | REMOVE EXISTING UNDERGROUND MONOLITHIC STRUCTURE.         |
| 7. | REMOVE EXISTING DUMPSTER & FENCE.                         |
| 8. | REMOVE EXISTING CONCRETE SLAB.                            |

CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND IN THE FIELD.







FLOOR PLAN LEGEND	
#	DESCRIPTION
1	INSTALL DOOR BELL AT SOUTH ENTRY DOOR WITH CHIME IN THE RECEPTION AREA .
2	INSTALL WINDOW BENCH, SEE STRUCTURAL PLANS.
3	INSTALL ELEVATOR AS PER MANUFACTURERS INSTRUCTONS, SEE SPEC. SHEET.
4	INSTALL DRINKING FOUNTAIN AS PER MANUFACTURERS INSTRUCTONS, SEE SPEC SHEET.
5	INSTALL ELECTRICAL PANEL, SEE ELECTRICAL PLANS.
6	INSTALL ADA TOILET, VANITY & GRAB BARS. INSTALLL BABY CHANGE STATION, C'FOLD DISPENSERS & TOILET TISSUE DISPENSERS AS PER MANUFACTURERS INSTRUCTIONS, SEE SPEC SHEETS.
7	INSTALL CABINETS, COUNTER TOPS, PLUMBING FIXTURES, ELECTRICAL APPLIANCES & FINISHES.
8	INSTALL MECHANICAL EQUIPMENT. SEE MECHANICAL PLANS.
9	INSTALL SOD & PLANTS, SEE LANDSCAPE PLANS.
10	INSTALL COVERED ENTRY. SEE STRUCTURAL PLANS.
11	INSTALL CONCRETE STAIRS AND GUARD RAIL. SEE STRUCTURAL PLANS.
12	INSTALL PRIVACY SCREEN, SEE SHOP DRAWINGS.
13	INSTALL SOUNDPROOF SYSTEM FOR ALL SENIOR PASTORS OFFICE PARTITION WALLS.
14	INSTALL 48" KNEE WALL.
15	INSTALL CONCRETE SIDEWALKS. SEE CIVIL PLANS.
16	INSTALL GUARD RAIL & ADA CONCRETE RAMP. SEE CIVIL PLANS.
17	INSTALL COVERED CARPORT COLUMNS. FIELD VERIFY EXACT LOCATION OF FDC PIPES.
18	INSTALL COVERED WALKWAY. SEE SHOP DRAWINGS.
19	INSTALL HOSE BIB. SEE PLUMBING PLANS.
20	INSTALL UTILITY SINK. SEE PLUMBING PLANS.
21	INSTALL NEW STACKED W/D, SEE PLUMBING & ELECTRICAL DRAWINGS.
22	INSTALL CLERESTORY WINDOWS ABOVE. SEE ELEVATIONS.
23	INSTALL SOFFIT TO ALLOW FOR MECHANICAL DUCTS . SEE SECTIONS.
24	INSTALL PARTITION WALL TO CEILING FRAMING TO ALLOW FOR UNOBSTRUCTED RETURN AIR PATH.
25	INSTALL ADA TRANSFER SHOWER W/ VINYL DAM & PORTABLE CHAIR. INSTALL TOILET, VANITY & GRAB BARS. INSTALLL C'FOLD DISPENSERS & TOILET TISSUE DISPENSERS AS PER MANUFACTURERS INSTRUCTONS, SEE SPEC SHEETS.
26	TRANSFER SHOWER SHALL BE 36" x 36" INCLUDING FINISH DIMENSIONS.
	1. INSTALL ROLLER SHADES, FURNITURE, TV'S, APPLIANCES, COPIERS, ROOM SIGNAGE, FILM ON ART WINDOW, TASK BOARDS. OWNER PROVIDED. CONTRACTOR INSTALLED.
	2. TELEPHONES, DATA JACKS, DATA CABLE, SERVERS, AND ALL AV EQUIPMENT AND CONNECTIONS WILL BE PROVIDED AND INSTALLED BY OWNER.

#	SIZE: WxH	HARWARE	FIN	DESCRIPTION / (REMARKS)
1	6'-0" x 7'-0"	N/A	TBD	EXTERIOR DOUBLE DOOR
2	3'-0" x 6'-8"	KEYED	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, TRANSLUCENT GLASS SMOOTH PRIMED
3	3'-0" x 6'-8"	KEYED	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, TRANSLUCENT GLASS SMOOTH PRIMED
4	3'-0" x 6'-8"	KEYED	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, TRANSLUCENT GLASS SMOOTH PRIMED
5	3'-0" x 6'-8"	PASSAGE	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, TRANSLUCENT GLASS SMOOTH PRIMED
6	3'-0" x 6'-8"	KEYED	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, TRANSLUCENT GLASS SMOOTH PRIMED
7	2'-8" x 6'-8"	PASSAGE	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED
8	2'-8" x 6'-8"	PASSAGE	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED
9	2'-8" x 6'-8"	PASSAGE	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED
10	2'-8" x 6'-8"	KEYED	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED
11	2'-8" x 6'-8"	EMER. EXIT	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED. SELF CLOSING SELF LOCKING DOOR REQUIRED
12	2'-8" x 6'-8"	PASSAGE	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED
13	2'-8" x 6'-8"	PASSAGE	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED
14	2'-6" x 6'-8"	HALF DUMMY	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED
15	5'-0" x 6'-8"	N/A	SATIN ALUMINUM	APA DOORS, INTERIOR (2) PANELS GLASS SLIDING DOOR, 1 3/4" ALUMINUM FRAME, CLEAR LAMINATED 14" GLASS, TOP MOUNTED TRACK AND COVER.
16	23'-0" x 6'-8"	N/A	SATIN ALUMINUM	APA DOORS, INTERIOR (6) PANELS GLASS SLIDING DOOR, NORTH AND SOUTH PANELS ARE FIXED. 1 3/4" ALUMINUM FRAME, CLEAR LAMINATED 14" GLASS, TOP MOUNTED MECHANICAL TELESCOPIC SYSTEM.
17	6'-0" x 6'-8"	PASSAGE	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOUBLE DOOR, SMOOTH PRIMED
18	3'-0" x 6'-8"	KEYED	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED
19	3'-0" x 6'-8"	KEYED	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED
20	3'-0" x 6'-8"	PRIVACY	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED
21	3'-0" x 6'-8"	PRIVACY	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED
22	3'-0" x 6'-8"	PRIVACY	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED
23	2'-0" x 6'-8"	HALF DUMMY	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOOR, SMOOTH PRIMED
24	5'-0" x 6'-8"	HALF DUMMY	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOUBLE DOOR, SMOOTH PRIMED
25	3'-0" x 6'-8"	PASSAGE	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOUBLE DOOR, SMOOTH PRIMED
26	5'-0" x 6'-8"	HALF DUMMY	P-3	JELD-WIN MODA PMP 1035 3 PANEL INTERIOR DOUBLE DOOR, SMOOTH PRIMED
27	3'-0" x 7'-0"	N/A	TBD	EXTERIOR SINGLE DOOR
28	3'-0" x 7'-0"	N/A	TBD	EXTERIOR SINGLE DOOR
NOTES	1. Jamb depth shall be verified in field. 2. See structural drawings for wind pressure calculations. 3. All substitutions shall be approved as equal by the Architect. 4. All doors to exterior shall have weathersliping, threshold and screens. 5. All glazing in hazardous locations defined in F.B.C. Chapter 24, Section 2406 Safety Glazing including shower enclosures, windows,etc. shall comply with the requirements of the section. 6. All new exterior doors shall be impact resistant.			



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Mission Building  
5741 S Flamingo Rd, Southwest Ranches, FL 33330

[illegible]

Scale	1/4" = 1'-0"
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5230 S. University Dr  
- Suite 106D -  
Davie, FL 33328  
AA26001846  
::: 954-861-0852 :::  
www.sq-1.net

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Mission Building  
5741 S Flamingo Rd, Southwest Ranches, FL 33330

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John Norman Garra  
Florida Architect AR92545

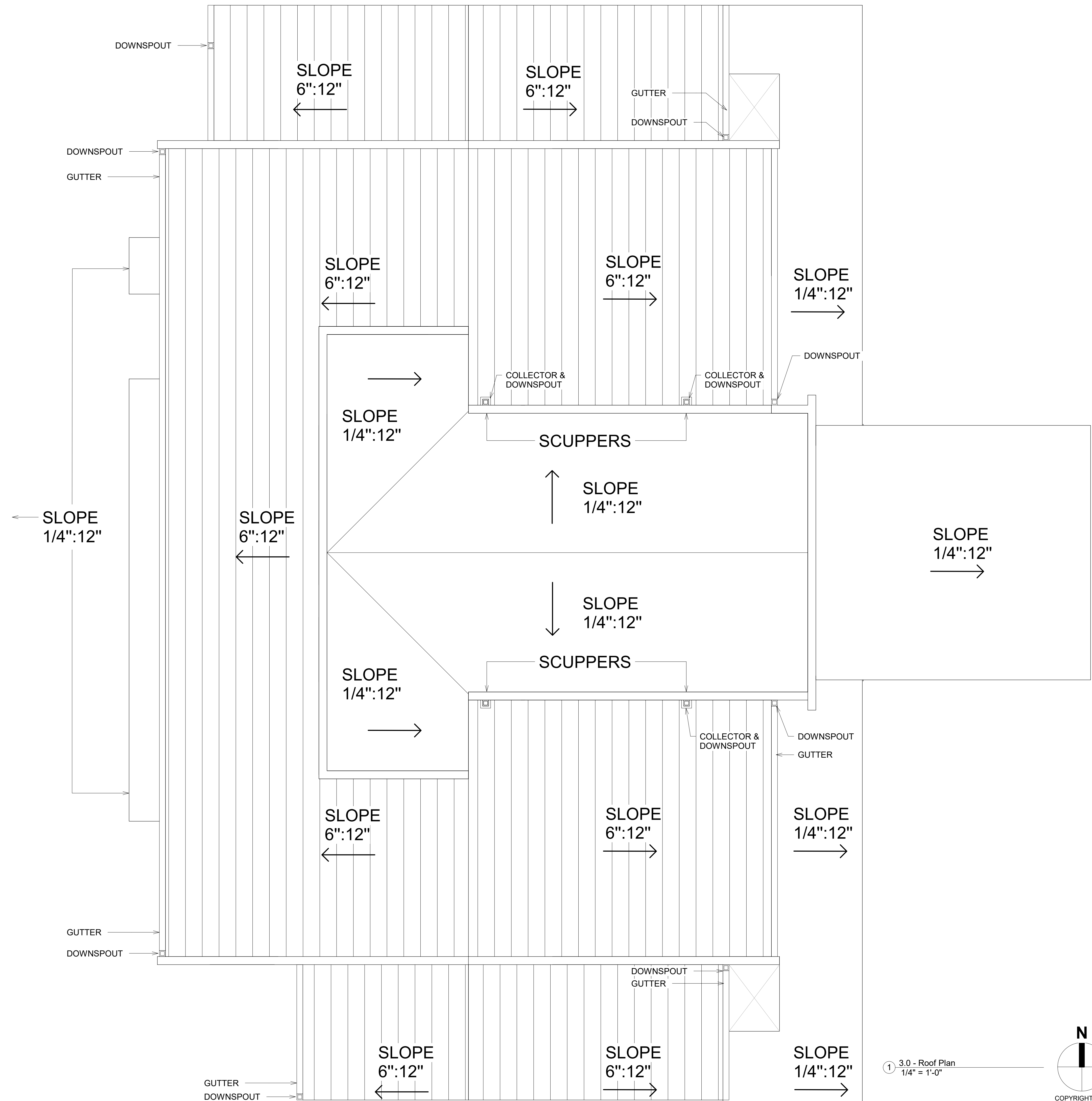
## Roof Plan

Date	11/30/2018
Drawn by	LEA


A103

Scale	1/4" = 1'-0"
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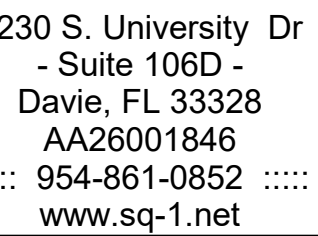
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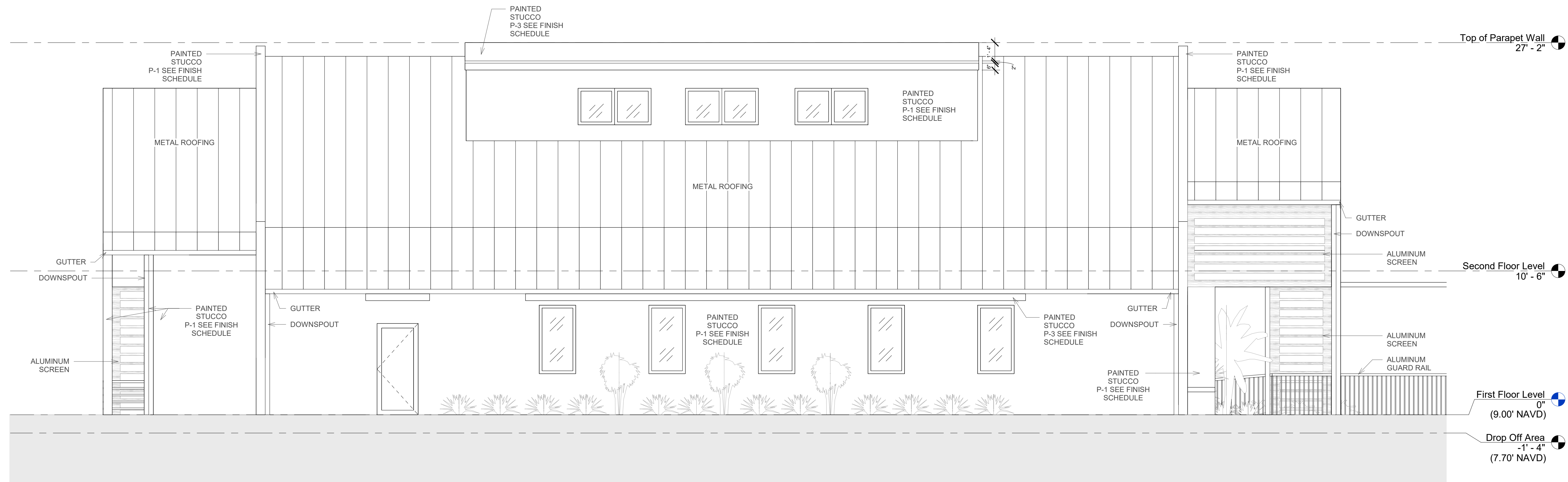
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## Elevations

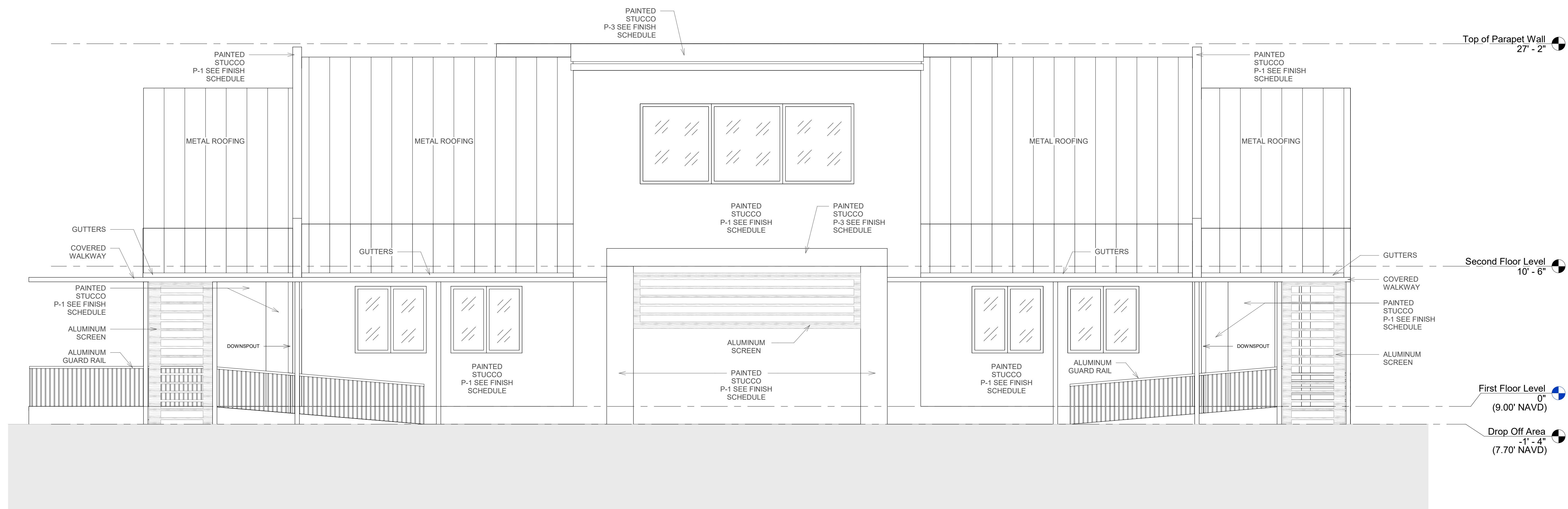
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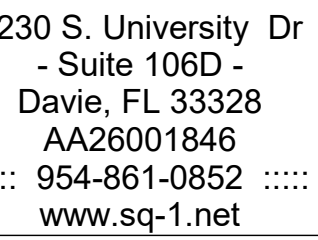
② West Elevation  
1/4" = 1'-0"



① East Elevation  
1/4" = 1'-0"

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NOT FOR  
CONSTRUCTION

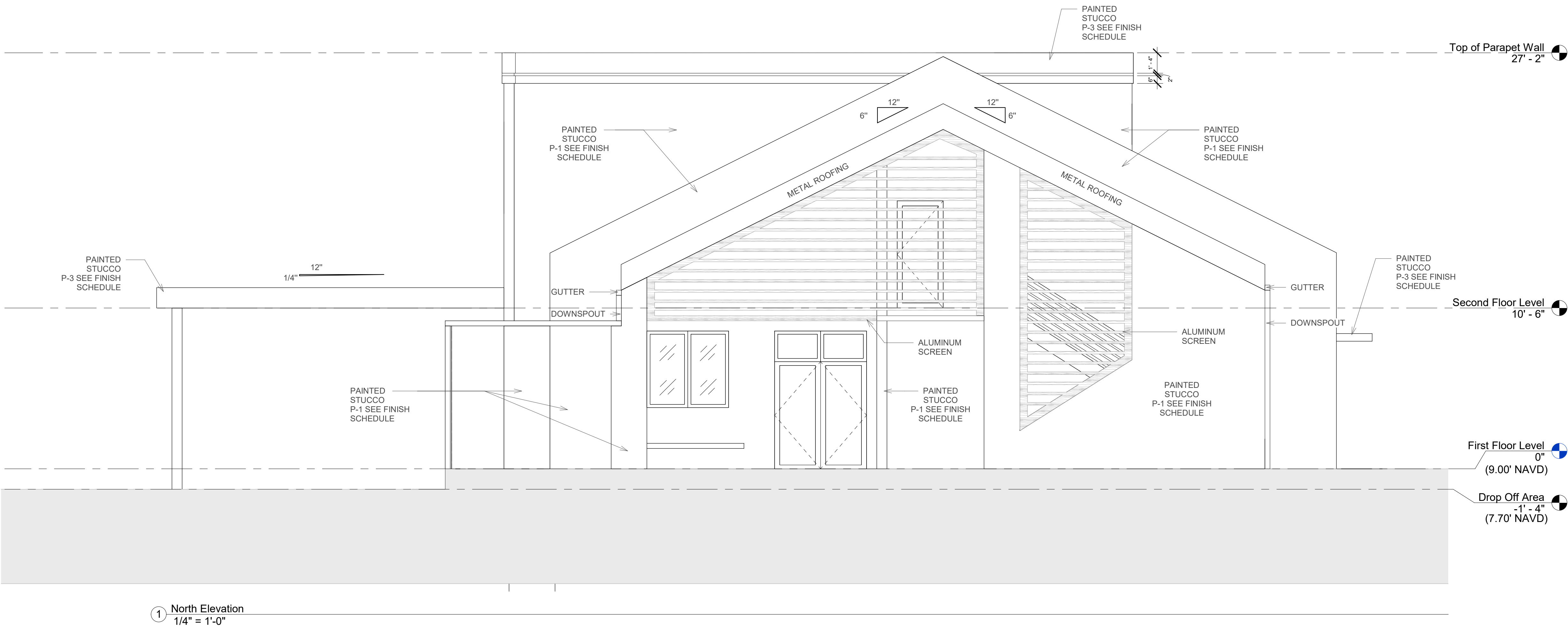
John Norman Garra  
Florida Architect AR92545

## Elevations

Date	11/30/2018
Drawn by	LEA

A202

Scale  $1/4" = 1'-0"$



1 North Elevation  
1/4" = 1'-0"



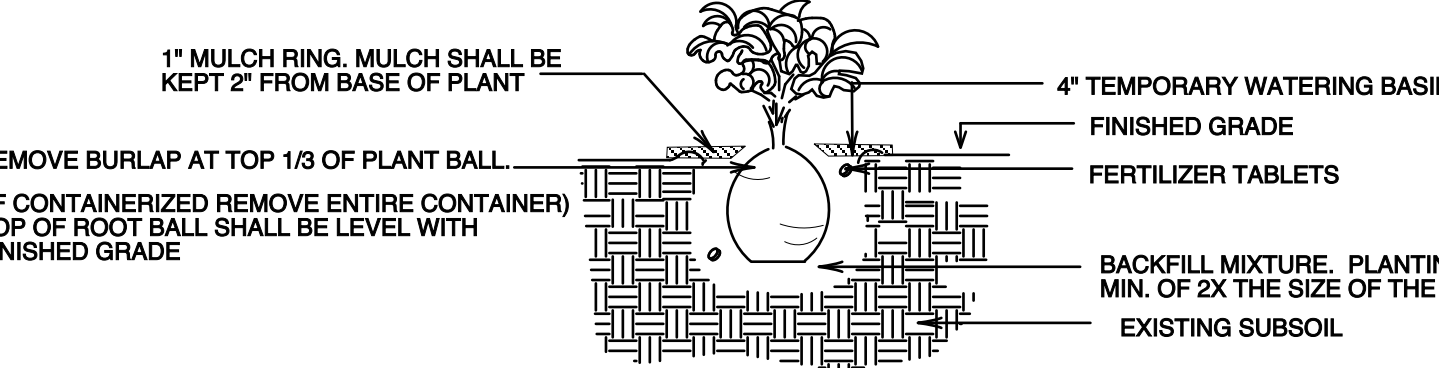
2 South Elevation  
1/4" = 1'-0"



MASTER PLANT LIST			
KEY	PLANT NAME	SPECIFICATION	QUANTITY
AGV7	AGAVE SPP. FALSE AGAVE	7 GAL. SPECIMEN HIGH DROUGHT TOLERANCE	4
CIR	CHRYSOBALANUS ICACO COCOPLUM HEDGE	24"X 24" 24" O.C. NATIVE	157
MF3	MYRCIANTHES FRAGRANS SIMPSON STOPPER	HIGH DROUGHT TOLERANCE	274
DV1	DIETES IRIKIDIDES AFRICAN IRIS	12" FULL TO POT 18" O.C. HIGH DROUGHT TOLERANCE	35
EPF2	CHAMAEROPS HUMILIS EUROPEAN FAN PALM	6' OA. DBL. TRUNK HIGH DROUGHT TOLERANCE	2
EUG	EUGENIA COMPACTA COLUMNAR SHAPE	4' OA. HT. MATCHED GAL. SIZE DETERMINED BY HT. SPECIFIED	2
FM3	FICUS MICROCARPA GREEN ISLAND FICUS	12" X 15" 18" OC. HIGH DROUGHT TOLERANCE	315
HP7	HEMELIA PATENS FIRE BUSH	36" X 24" 24" OC NATIVE HIGH DROUGHT TOLERANCE	18
LIRV	LIRIOPE MUSCARI VARIEGATED LIROPE AZTEC GOLD	FULL 12" MIN. 7 BIBS/POT MIN., 12" O.C. HIGH DROUGHT TOLERANCE	50
MUC3	MUEHLENBERGIA CAPILLARIS MUHLY GRASS	24" X 12" 15" O.C. NATIVE HIGH DROUGHT TOLERANCE	10
PEN	PENTAS LANCEOLATA DWF. RED	FULL 6" X 6" 12" O.C.	80
SOD	ST. AUGUSTINE FLORITAM ADD AND REPLACE AS NEEDED	CONTRACTOR TO VERIFY QTY FOR AREAS MISSING OR IN POOR CONDITION	
SR7	SERENOA REPENS SAW PALMETTO	24" X 24" 30" O.C. NATIVE HIGH DROUGHT TOLERANCE	11

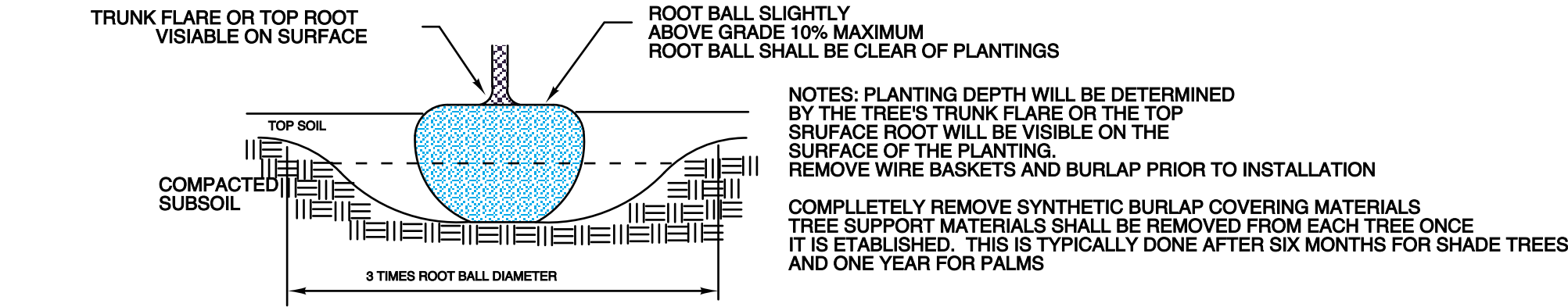
SINGLE TRUNK GUYING AND PLANTING DETAIL

NOT TO SCALE



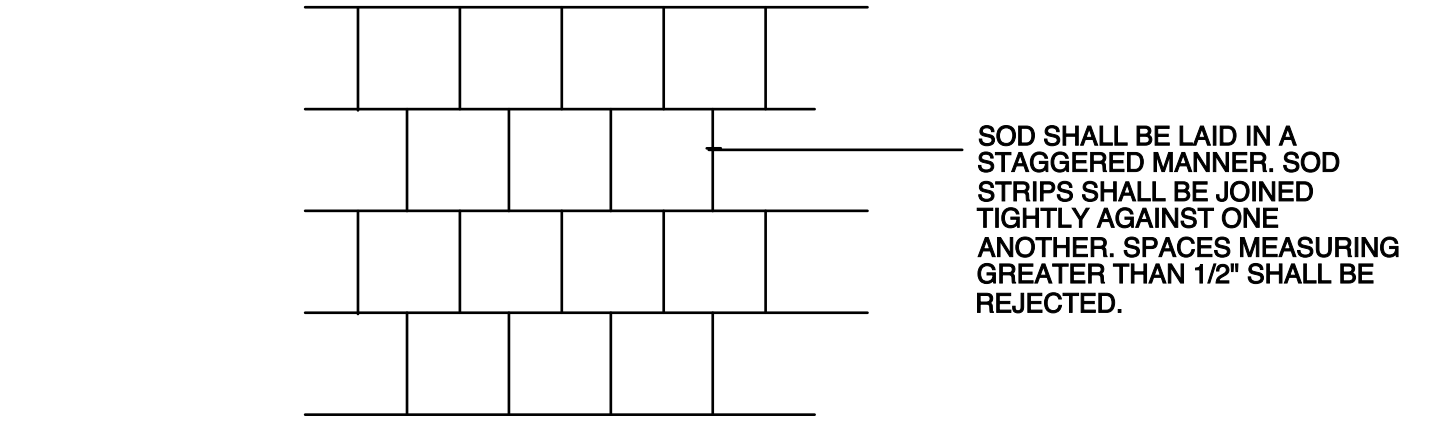
SHRUB PLANTING DETAIL

NOT TO SCALE



ROOT BALL DETAIL

NOT TO SCALE



SOD PLANTING DETAIL

NOT TO SCALE

SOD PLANTING DETAIL

NOT TO SCALE

SOD PLANTING DETAIL

NOT TO SCALE

SOD PLANTING DETAIL

NOT TO SCALE

MASTER PLANT LIST			
KEY	PLANT NAME	SPECIFICATION	QUANTITY
IC14	ILEX CASSINE DAHOON HOLLY	14-16" X 6' SPR. 3" CAL. 4.5' CT. MIN/MX FEMALE/MALE NATIVE HIGH DROUGHT TOLERANCE	1
QV14	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	14-16" X 6' SPR. 3" DBH. 5' C.T. B&B NATIVE HIGH DROUGHT TOLERANCE	5
VM2	VEITCHIA MONTGOMERYANA MONTGOMERY PALM	14' OA. DBL. TRUNKS B&B FG. HIGH DROUGHT TOLERANCE	2

MASTER PLANT LIST			
KEY	PLANT NAME	SPECIFICATION	QUANTITY
IC14	ILEX CASSINE DAHOON HOLLY	14-16" X 6' SPR. 3" CAL. 4.5' CT. MIN/MX FEMALE/MALE NATIVE HIGH DROUGHT TOLERANCE	1
QV14	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	14-16" X 6' SPR. 3" DBH. 5' C.T. B&B NATIVE HIGH DROUGHT TOLERANCE	5
VM2	VEITCHIA MONTGOMERYANA MONTGOMERY PALM	14' OA. DBL. TRUNKS B&B FG. HIGH DROUGHT TOLERANCE	2

INDICATES MITIGATION TREES

UTILITY STRUCTURE

UTILITY STRUCTURE

UTILITY STRUCTURE

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## LANDSCAPE SPECIFICATIONS

1. CONTRACTOR SHOULD MAKE HIS OWN TAKE-OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WILL TAKE PRECEDENCE OVER THE PLANT LIST.

2. EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY. COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.

3. ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.

4. ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE AND ADHERE TO ALL MUNICIPAL REQUIREMENTS.

5. ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (1 YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.

6. ALL SOD TO BE ST. AUGUSTINE FLORITAM SOLID UNLESS OTHERWISE SPECIFIED. DIFFERENT SOD TYPES SHALL BE SEPARATED BY EDGING, PLANT MATERIAL, OR OTHER PHYSICAL BARRIER.

7. ALL BED AREAS TO RECEIVE A 1" LAYER OF ARSENIC FREE EUCALYPTUS MULCH (ELORIMULCH) & SHALL BE A MIN. OF 1'-0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE).

8. ALL TREES MEET THE MINIMUM TRUNK DBH. AS SHOWN ON THE LANDSCAPE SPECIFICATIONS.

9. ALL EXISTING LANDSCAPING INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, GROUND COVER, SOD, IRRIGATION, GRADING AND CURBING DAMAGED DURING CONSTRUCTION SHALL BE RESTORED/REPLACED PRIOR TO FINAL INSPECTION.

10. LANDSCAPER TO FURNISH ALL MATERIAL AND LABOR INCLUDING: PLANTS, MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS, TRANSPORTATION, WARRANTY, PERMIT, ETC. NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE OTHERS.

11. ALL PRINCIPALS OF FLORIDA FRIENDLY LANDSCAPING AND DESIGN STANDARDS SHALL BE UTILIZED. ANY CHANGES TO MATERIALS, SIZES OR SPECIFICATIONS SHALL BE FIRST APPROVED BY THE LANDSCAPE ARCHITECT OR RECORD.

12. OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.

13. LANDSCAPER SHALL HAVE A COMPETENT ENGLISH SPEAKING SUPERINTENDENT PRESENT ON THE JOB WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.

14. PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES. PLANTS SHALL BE SOUND, HEALTHY VIGOROUS, FREE FROM PLANT DISEASE, INSECT OR THEIR EGGS. THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.

15. ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.

16. PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY. ALL TREE PRUNING SHALL BE DONE IN ACCORDANCE WITH CURRENT ANSI-300 STANDARDS.

17. OWNER RESERVES THE RIGHT TO APPROVE ALL PLANTS MATERIALS. OWNER OR OWNERS AGENT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING.

18. LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES WHILE WORK IS IN PROGRESS.

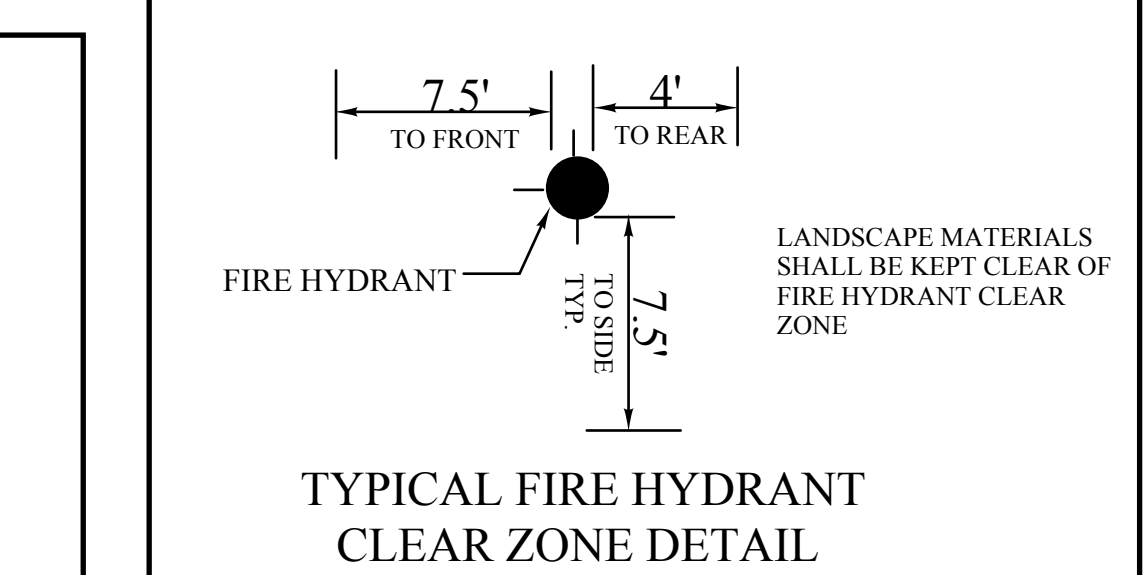
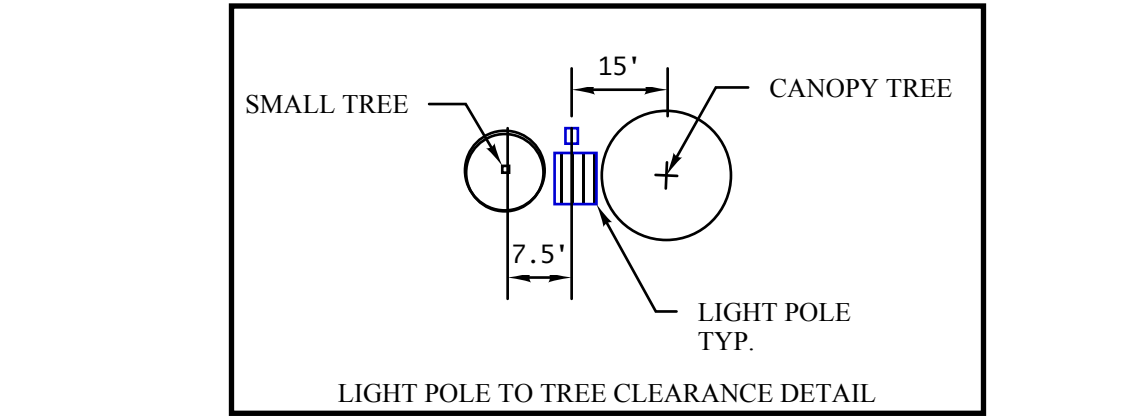
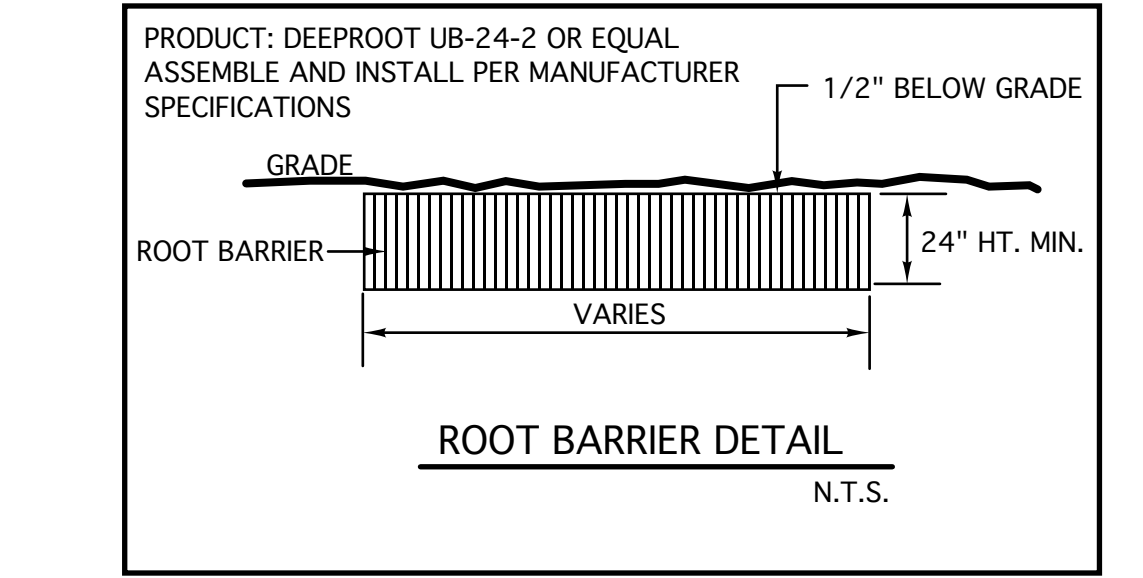
19. THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS AND UTILITIES. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.

20. METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK. THE LANDSCAPE CONTRACTOR SHALL PROVIDE AN ENGLISH SPEAKING FORMAN ON THE JOB AT ALL TIMES.

21. PLANT MATERIAL: ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASE OF THE LOWER FROND); GAL (GALLON CAN); 3 GAL (3 GALLON CAN); OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASON'S GROWTH); SPR (INDICATES SPREAD); HVTY (INDICATED HEAVY); MIN (INDICATES MINIMUM).

22. SUBSTITUTION: PLANT SUBSTITUTION REQUESTS FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZE SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT AND THE GOVERNING MUNICIPALITY FOR CONSIDERATION AND APPROVAL. IT IS THE LANDSCAPE CONTRACTORS OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.

23. THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER ACTS OF NATURE OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.



TYPICAL FIRE HYDRANT CLEAR ZONE DETAIL

TYPICAL FIRE HYDRANT CLEAR ZONE DETAIL

TYPICAL FIRE HYDRANT CLEAR ZONE DETAIL

24. ALL TREES, PALMS AND OTHER PLANTS SHALL BE PLANTED WITH THE TOP OF THEIR ROOTBALLS 10% ABOVE FINAL GRADE SURROUNDING THE PLANTING AREA. ALL WIRE BASKETS, BURLAP, STRIPS AND ROPE MUST BE REMOVED. ALL TREE OR PALMS IN LAWN AREAS SHALL RECEIVE A 2 FOOT DIAMETER MULCH RING. MULCH SHALL BE PULLED AWAY FROM THE TRUNKS 3". ALL PLANTING PTS SHALL BE A MIN. OF 3X THE ROOTBALL SIZE. ALL TREES AND PALMS SHALL BE BRACED OR GUYED. ALL NYLON STRAPS AND WOOD BRACING SHALL BE REMOVED WITHIN ON YEAR OF FINAL INSPECTION.

25. DELIVERY RECEIPTS FOR TOP SOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST.

26. COMMERCIAL FERTILIZER: COMMERCIAL FERTILIZER SHALL BE AN ORGANIC FERTILIZER CONTAINING NITROGEN, PHOSPHORIC ACID, MINOR TRACE ELEMENTS AND POTASH IN EQUAL PERCENTAGES OF AVAILABLE PLANT FOOD WEIGHT OR "MILORGANITE". NITROGEN SHALL BE NOT LESS THAN 100% FROM ORGANIC SOURCE. FERTILIZER SHALL BE DELIVERED TO THE SITE UNOPENED IN ORIGINAL CONTAINERS, EACH BEARING THE MANUFACTURERS GUARANTEED ANALYSIS. INITIAL FERTILIZATION OF TREES, SHRUBS, GROUND COVERS, SHALL BE WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" IN A CIRCLE AROUND THE PLANT BEFORE MULCHING DO NOT TOUCH THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER AFTER MULCHING. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING AT THE RATE:

5 LBS OR 14.5 CUPS / PALMS  
1 LBS OR 8.70 CUPS / 12-16" MATERIAL  
2 LBS OR 5.80 CUPS / 8-12" MATERIAL  
0.69 LBS OR 2.00 CUPS / 6-8" MATERIAL  
0.19 LBS OR . CUP / 3 GAL. MATERIAL  
0.10 LBS OR . CUP / 1 GAL. MATERIAL  
FERTILIZERS SHALL BE SLOW TIME RELEASE, UNIFORM IN COMPOSITION DRY, AND FREE FLOWING AND SHALL MEET THE FOLLOWING REQUIREMENTS:  
SIX (6) PERCENT NITROGEN, SIX (6) PERCENT PHOSPHOROUS, AND SIX (6) PERCENT POTASSIUM. FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB PER 3 GAL. CONTAINER), LB PER 1 GAL. CONTAINER) AND GROUND COVER. THE SOD STARTER FERTILIZER MIXTURE SHALL BE A 5-10-10 AT A RATE OF 20 LBS. PER 1000 S.F. A 14-14-14 FERTILIZER IS REQUIRED ON ALL TREES AND SHRUBS OVER 5' IN HEIGHT (1/2 LB. PER 5' OF SPREAD). AGRIFORM TABLETS WITH TWENTY (20) PERCENT NITROGEN, TEN (10) PERCENT PHOSPHOROUS, FIVE (5) PERCENT POTASSIUM IN 21 GRAM SIZES & SHALL BE APPLIED AT THE FOLLOWING RATE: 1 PER GAL. PLANT 2 PER 3 GAL. PLANTS AND 2 TABLES PER 1" OF TREE TRUNK CALIPER APPLY PALM SPECIAL FERTILIZER AS PER MANUFACTURES RECOMMENDATION.

27. SUPER ABSORBENT POLYMER: "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRLAMIDE COLONYMER, POTASSIUM, AND ACRYLATE. PARTICLE SIZE OF 1.0 MM TO 1.0 MM AND ABSORPTION RATE OF 300 TIMES ITS WEIGHT IN WATER. APPLY DRY USING THE FOLLOWING AMOUNT:  
1 PAC PER TREE - 36" BALL SIZE  
2 PAC PER TREE - OVER 36" BALL SIZE  
1 PAC PER 20 GAL. CONTAINER  
0.5 PACS PER 7-10 GAL. CONTAINER  
0.25 PACS PER 3 GAL. CONTAINER  
0.12 PACS PER 1 GAL. CONTAINER

28. LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED BY CALLING SUNSHINE ONE CALL SERVICE OR EQUAL. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER.

29. PLANTING SOIL: PLANTING SHALL BE COMPOSED OF 50% SAND AND 50% MUCK. ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STONE, PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRIABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS.

30. WATER FOR PLANTING SHALL BE AVAILABLE AT THE SITE AND SHALL BE PROVIDED BY THE OWNER/GC. AN AUTOMATIC UNDERGROUND RUST FREE IRRIGATION SYSTEM SHALL BE PROVIDED WITH A RAIN SENSOR. THE IRRIGATION SHALL COVER 100% WITH 100% OVERLAP PRIOR TO FINAL INSPECTION.

31. PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIAL. PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT. FLUSH WITH THE TRUNK OR ADJACENT BRANCH. IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS. "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATRACKED.

32. SITE PREPARATION: IT SHALL BE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SODDED (PRIOR TO APPLICATION OF SOD) ELIMINATING ALL BUMPS, DEPRESSIONS, STICKS, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE CITY/TOWN INSPECTOR.

33. MAINTENANCE: MAINTENACE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTING PLANTS TO PROPER GRADES OR UPRIGHT POSITION AND RESTORATION OF THE PLANTING SALUER AND ANY OTHER NECESSARY OPERATION. PROPER PROTECTION TO LAWN, AREAS AND ANY DAMAGED AREAS SHALL BE RESULTING FROM PLANTING OPERATIONS. SHALL BE REPAIRED PROMPTLY. ALL TREE/PALM TRIMMING SHALL BE DONE IN ACCORDANCE WITH ANSI-300 STANDARDS. ALL OWNERS OF THE LAND OR THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING.

34. (NOTE: SABAL PALMETTO TO CABBAGE PALM SPECIES THE BRANCHES TOGETHER WITH BIO-DEGRADABLE TWINE TO TIGHT BUNDLE AROUND BID FOR PROTECTION).

35. MULCH: MULCH MAY BE USED WITHIN PLANTING BEDS IN CONJUNCTION WITH GROUND COVER. MULCH SHALL BE RENEWED AND MAINTAINED AS REQUIRED TO MAINTAIN A THREE- INCH DEPTH AT THE TIME OF FINAL INSPECTION. MULCH AROUND TREE ROOT BALLS NOT PLANTED IN PLANTING AREA SHALL BE THREE INCHES DEEP AT THE PERIMETER OF THE ROOT BALL. SEE FIGURES 1 AND 2 AT THE END OF THE CHAPTER.

36. GRASS: AREAS WITHIN THE LANDSCAPE EASEMENT NOT USED FOR TREES, SHRUBS, GROUND COVER, MULCH, OR OTHER LANDSCAPE ELEMENTS SHALL BE PLANTED WITH SOLID SORTED ST. AUGUSTINE FLORITAM OR PLAMETTO AND SHALL BE IRRIGATED. SOD SHALL BE WEED-PEST FREE INCLUDING FUNGUS AND DISEASE. LAID SMOOTH WITH TIGHT JOINTS AND CUT TO CONFORM TO CURBS AND PLANTERS.

37. WHERE THE LANDSCAPE EASEMENT ABUTS ON SITE VEHICULAR USE AREAS SUCH AS TRAFFIC LANES, THE LANDSCAPE EASEMENT SHALL BE SEPARATED FROM THE TRAFFIC LANES BY CONTINUOUS CONCRETE CURBING WITH AN 18-INCH DEPTH BELOW GRADE. EXTRUDED CURBING INSTALLED ON TOP OF THE PAVING IS PROHIBITED.

38. EXCAVATION REQUIREMENT: REQUIRED: ISLANDS/MEDIANS SHALL BE EXCAVATED TO 30 INCHES, AND BACK FILLED WITH CLEAN FILL AND PLANTING SOIL CONSISTING OF 50% MUCK AND 50% SAND AT LEAST 3" BELOW THE TOP OF CURB. MANIPULATION OF THE GRADE BEHIND THE CURBING TO CREATE SMALL SCALE MOUNDING IS ENCOURAGED. REQUIRED EXCAVATION AT BUILDING FOUNDATIONS SHALL BE 12 INCHES AND BACK FILLED WITH CLEAN FILL AND PLANTING SOIL. PLANTING SOIL SHALL BE FREE OF DEBRIS, WEED, ROCK, AND PHI BETWEEN 6.5 AND 7.0.

39. A LANDSCAPE PERMIT IS REQUIRED FOR ALL LANDSCAPE INSTALLATIONS INCLUDING NEW SINGLE FAMILY HOMES THAT ARE NOT PART OF A PLANNED COMMUNITY. NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED IN PUBLIC RIGHTS-OF-WAY (SWALE AREAS) WITHOUT PERMIT FROM THE CITY. NO SHRUB SPECIES WITH A MATURE HEIGHT THAT WILL BLOCK THE CLEAR SIGHT ZONE FROM 30 INCHES IN HEIGHT TO SIX FEET IN HEIGHT WILL BE APPROVED IN SWALE AREAS.

40. TOPSOIL SHALL BE CLEAN AND FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES, AND EXHIBIT A PH OF 6.5 TO 7.0. THE TOPSOIL FOR PLANTING AREAS SHALL BE AMENDED WITH HORTICULTURALLY ACCEPTABLE ORGANIC ATTERIAL. ALL SOIL USED SHALL BE SUITABLE FOR THE INTENDED PLANT MATERIAL. THE SOURCE OF THE TOPSOIL SHALL BE KNOWN TO THE APPLICANT AND SHALL BE ACCEPTABLE TO THE CITY.

MINIMUM SOIL DEPTH:  
REQUIRED: THE MINIMUM PLANTING SOIL DEPTH SHALL BE SIX INCHES FOR GROUND COVERS, FLOWERS, SHRUBS AND HEDGES.  
ROOTBALL SOIL:  
REQUIRED: TREES SHALL RECEIVE 12 INCHES OF PLANTING SOIL AROUND THE ROOT BALL.  
NATIVE SOIL:  
REQUIRED: NATIVE TOPSOIL ON THE SITE SHALL BE RETAINED ON-SITE AND USED WHEN THERE IS SUFFICIENT QUANTITY TO COVER AT LEAST SOME OF THE ON-SITE LANDSCAPED AREAS.  
ARID PLAMS:  
REQUIRED: CLEAN SAND SHALL BE USED TO BACKFILL ARID CLIMATE PALMS.

41. USE OF ORGANIC MULCHES:  
A THREE-INCH MINIMUM THICKNESS OF APPROVED ORGANIC ARSENIC FREE MULCH MATERIAL AT THE TIME OF FINAL INSPECTION, SHALL BE INSTALLED IN ALL LANDSCAPE AREAS NOT COVERED BY BUILDING, PAVEMENT, SOD, DECORATIVE STONES, PRESERVED AREAS AND ANNUAL FLOWER BEDS. EACH TREE SHALL HAVE A RING OF ORGANIC MULCH AT THE PERIMETER OF THE ROOT BALL.

42. ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM AS APPROVED BY THE CITY.

43. THE ERADICATION OF NUISANCE VEGETATION (EXOTICS) EXISTING ON SITE REQUIRED ON ALL SITES INCLUDING ABUTTING RIGHTS-OF-WAY. PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY PRIVATELY OWNED NATURAL AREAS SHALL BE INCLUDED IN THIS REQUIREMENT. FICUS BENJAMINA AND FICUS NITIDA MAY BE USED FOR HEDGE MATERIAL WITH A FIVE-FOOT SEPARATION FROM WATER LINES. FICUS HEDGES MAY NOT BE PLANTED IN UTILITY EASEMENTS.

44. HEDGES: WHERE REQUIRED SHALL BE PLANTED SO AS TO BE TIP TO TIP WITHIN SIX MONTHS OF PLANTING AND MAINTAINED SO AS TO FORM A CONTINUOUS VISUAL SCREEN. SHRUBS USED AS HEDGES SHALL BE FLORIDA DEPARTMENT OF AGRICULTURE GRADE #6 OR BETTER WITH A MINIMUM HEIGHT OF 24 INCHES AND MINIMUM SPREAD OF 24 INCHES, WHEN MEASURED IMMEDIATELY AFTER PLANTING AND SHALL BE MINIMUM OF THREE FEET IN HEIGHT WITHIN TWO YEARS FROM THE DATE OF PLATING. HEDGES SHALL BE PLANTED WITH BRANCHES TOUCHING, WITHIN SIX MONTHS OF PLANTING SO AS TO CREATE A SOLID SCREEN WITH NO VISUAL SPACES BETWEEN PLANTS AT THIS TIME. PLANTS SPACING MAY BE ADJUSTED ACCORDING TO PLAT SIZES SO LONG AS THE PRECEDING IS ACHIEVED. ALL GROUND COVER SHALL BE INSTALLED AT 75% COVERAGE AND 100% WITHIN 6 MONTHS AFTER FINAL ACCEPTANCE.

45. ALL ABOVE GROUND ELEMENTS INCLUDING BUT NOT LIMITED TO DUMPSTERS, FENCES, WALLS, A/C UNITS, IRRIGATION PUMPS, TRANSFORMERS AND GENERATORS SHALL BE SCREENED WITH LANDSCAPE MATERIAL TO A HEIGHT OF 36" MIN.

46. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE RUST FREE 100% COVERAGE & 100% OVERLAP. CONTRACTOR SHALL ENSURE THERE IS NO OVERSPRAY ONTO IMPERVIOUS AREAS. ALL IRRIGATION PVC RISERS SHALL BE PAINTED FLAT BLACK.

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landscape architecture

REVISIONS:

TOWN COMMENTS: 8/1/18

SHEET TITLE:

LANDSCAPE  
DETIALS AND  
SPECIFICATIONS

PROJECT:

NEW HORIZON METHODIST CHURCH  
MISSION BUILDING  
5741 S. FLAMINGO RD.  
SOUTHWEST RANCHES, FL.

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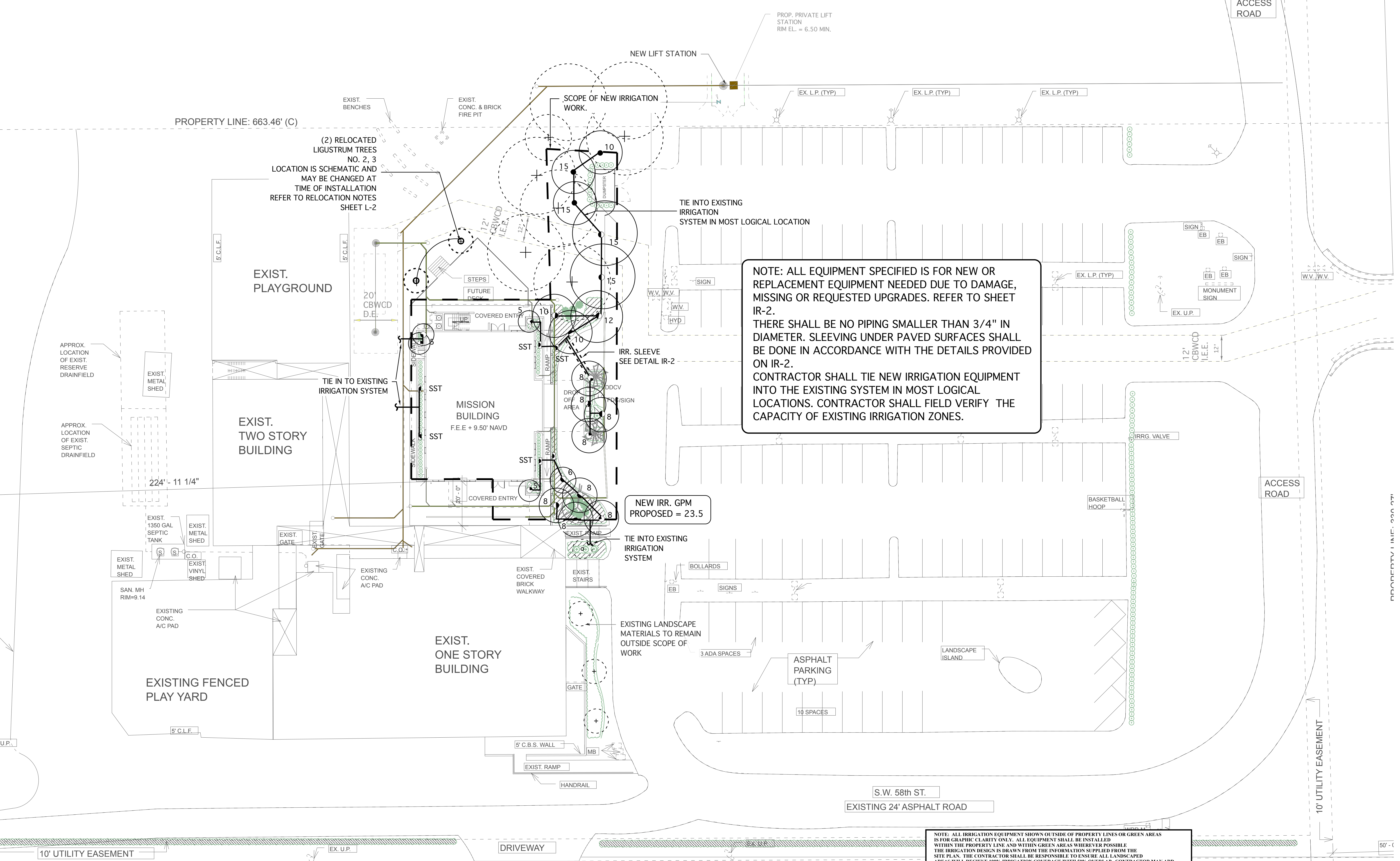
DATE DRAWN: 4/12/18

SHEET NO.

L-3

of-3





NOTE: ALL EQUIPMENT SPECIFIED IS FOR NEW OR REPLACEMENT EQUIPMENT NEEDED DUE TO DAMAGE, MISSING OR REQUESTED UPGRADES. REFER TO SHEET IR-2.  
THERE SHALL BE NO PIPING SMALLER THAN 3/4" IN DIAMETER. SLEEVING UNDER PAVED SURFACES SHALL BE DONE IN ACCORDANCE WITH THE DETAILS PROVIDED ON IR-2.  
CONTRACTOR SHALL TIE NEW IRRIGATION EQUIPMENT INTO THE EXISTING SYSTEM IN MOST LOGICAL LOCATIONS. CONTRACTOR SHALL FIELD VERIFY THE CAPACITY OF EXISTING IRRIGATION ZONES.

NEW IRR. GPM  
PROPOSED = 23.5

NOTE: ALL IRRIGATION EQUIPMENT SHOWN OUTSIDE OF PROPERTY LINES OR GREEN AREAS IS FOR GRAPHIC CLARITY ONLY. ALL EQUIPMENT SHALL BE INSTALLED WITHIN THE PROPERTY LINE AND WITHIN GREEN AREAS WHEREVER POSSIBLE. THE IRRIGATION DESIGN IS DRAWN FROM THE INFORMATION SUPPLIED FROM THE SITE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ALL LANDSCAPED AREAS WILL RECEIVE 100% IRRIGATION COVERAGE WITH 50% OVERLAP. CONTRACTOR MAY ADD OR ADJUST HEADS WHERE NECESSARY TO ENSURE COVERAGE.

THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE DONE TO THE LANDSCAPING AS A RESULT OF IRRIGATION INSTALLATION TO EQUAL OR BETTER CONDITION.

ALL EQUIPEMENT SHALL BE INSTALLED PER THE LATEST REVISED SOUTH FLORIDA BUILDING CODE APPENDIX F.

THERE SHALL BE NO MACHINE TRENCHING WITHIN THE DRIPLINE OF EXISTING OR PROPOSED TREES.

ALL TRENCHES SHALL BE HAND DUG WITHIN THESE AREAS.

CONTRACTOR SHALL REFER TO LANDSCAPE PLAN FOR PROPOSED AND EXISTING MATERIALS AS NOTED ON SHEETS L-1 AND L-2.

CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING OR PROPOSED UTILITIES PRIOR TO STARTING WORK. CONTRACTOR SHALL ADJUST EQUIPMENT WHERE NECESSARY TO AVOID CONFLICTS. CONTRACTOR SHALL SITE ADJUST ADD OR REMOVE IRRIGATION HEADS TO TO ENSURE ALL GREEN AREAS RECEIVE 100% COVERAGE WITH 50% OVERLAP IF SITE CONDITIONS VARY FROM THE PLAN.

IRRIGATION HEADS INSTALLED IN TALL SHURB BEDS SHALL BE PLACED ON RISERS. SEE DETAIL THIS SHEET

CONTRACTOR SHALL UTILIZE EXITING IRRIGATION EQUIPMENT UNLESS MISSING OR IN POOR CONDITION. ALL NEW EQUIPMENT SHALL BE SPECIFIED AS NOTED ON THIS SHEET.

NOTE: IRRIGATION CONTRACTOR SHALL FIELD VERIFY THAT ALL EXISTING IRRIGATION EQUIPMENT IS IN GOOD WORKING ORDER AND ADJUSTED TO ENSURE ALL LANDSCAPE MATERIALS RECEIVE 100% COVERAGE WITH 50% OVERLAP. CONTRACTOR SHALL REPLACE OR REPAIR AS NEEDED. ALL NEW EQUIPMENT SHALL COMPLY WITH THE SPECIFICATIONS NOTED ON THIS SHEET

**C** IRRIGATION CONTROLLER  
MOUNT TO EXTERIOR WALL IN ACCESSIBLE AREA

**RS** RAIN SENSOR MOUNT CLEAR OF OVERHAND CANOPY

PIPE SLEEVING SCHEDULE

PIPE SIZE	SLEEVE SIZE
1"	2"
1 1/4"	2"
1 1/2"	3"
2"	4"
2 1/2"+	6"

LEGEND	
	VALVE
	SPRAY, 360°
	SPRAY, 180°
	SPRAY, 90°
	SIDE STRIP
	10" NOZZLE
	8" NOZZLE
	6" NOZZLE

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landscape architecture

REVISIONS:

SHEET TITLE:  
IRRIGATION PLAN

PROJECT:  
NEW HORIZON METHODIST CHURCH  
MISSION BUILDING  
5741 S. FLAMINGO RD.  
SOUTHWEST RANCHES, FL.

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SCALE: 1"=20'

DATE DRAWN: 9-21-18

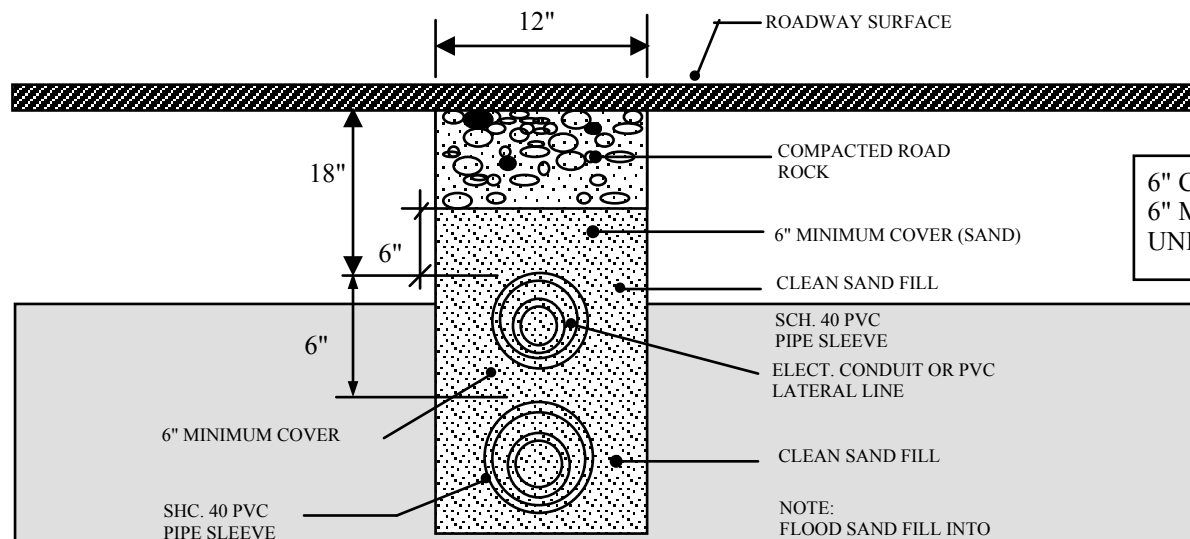
SHEET NO.  
**IR-1**  
of-2



KEY	NO.	CODE	ITEM DESCRIPTION	INSTALLATION SPEC.
	14	SLV LINE NOTE	SLEEVES IN THIS CONTRACT Sleeves under roadways and driveways shall be SCH-40 Sleeves under sidewalks can be CLASS 160 PVC Install as per details and specifications.	Each sleeve shall be a minimum of two sizes larger than lateral pipe enclosed and each crossing shall include separate electrical conduit sleeves. All sleeves under pavement or roads shall be a minimum of 24" below the top of paving to the top of the sleeve and under walks at 12" below grade. Irrigation contractor shall supply and place sleeves, and be responsible for their locations. Sleeving shall be installed at the most logical locations to avoid underground utilities and structures. Sleeve locations shall be considered schematic on irrigation plans. <del>The GC shall backfill and pave as required. No rock shall be in contact with PVC sleeves.</del> All Asphalt base compaction and paving shall be made by the Paving Contractor on the job.
	02	CONTR NOTE	IRRIGATION CONTRACTOR  <b>UTILITIES ABOVE AND BELOW GROUND.</b>	Contractors shall be responsible for the location and verification of all overhead and underground utilities. Contractor shall coordinate with all of the appropriate agencies to verify utilities in the field. Contractor shall be responsible for the protection and maintenance and any damage to existing utilities and structures that may occur in the implementation of the scope of work within this project. CONTRACTORS MUST USE THE NEW STANDARD SCHEDULE MARKINGS ON THE GROUND 1994 edition
X	00V11	VALVE BOX	VALVE COVER BOX - AMETEK Heavy Duty Box with Locking Covers, <b>JVB-10 Box 10" Dia.</b>	All valve assemblies to be installed below grade shall include AMETEK valve location. Group valve assemblies so they are accessible with the correct size install top of box flush with surrounding grade, grass or mulch depending on boxes with a 2" layer of drainage gravel as clean dry ballast for a bottom box. Any substitutions must be approved by landscape architect by providing sample or product information for review and written approval.
	70A	Head	RAINBIRD 1800 SERIES, XP and VAN SERIES 180G-PRS 6" POP-UP 3/4 HDS FULL Low Gallon Nozzles 1/4 HDS 1/2 HDS HEADS 2.5,"4,"5,"6,"8","10","12","15" Radius	All heads in tall shrub beds shall be mounted on sch. 160 12" risers painted krylon jungle green.  Contractor shall adjust head spray to eliminate over spray of water onto structure walls, driveways, and walkways.
			<b>RAINBIRD SPECIAL PATTERN SST</b>	
	90	HEAD NOTE	GENERAL HEAD NOTE  <b>ALL HEAD LOCATIONS SHOWN ON PLANS ARE SCHEMATIC AND SHALL BE INSTALLED IN MOST LOGICAL LOCATION TO ENSURE DESIRED COVERAGE OF PLANT MATERIALS</b>	Contractor to maintain 100% coverage with minimum 50% overlap when minor head location changes are necessary due to field conditions. Install adjustable angle nozzles where needed."All heads in open grass areas to be mounted on polytype swing joints. Heads in shrub areas shall be installed on SCH 160 risers raised to 6" above plant height, and with PVC SCH 160 swing joint assemblies below grade. Risers taller than 24" above grade shall be staked for support. All risers shall be fitted with shrub adapters and appropriate nozzles. All risers shall be painted with Krylon Jungle Green or equal.

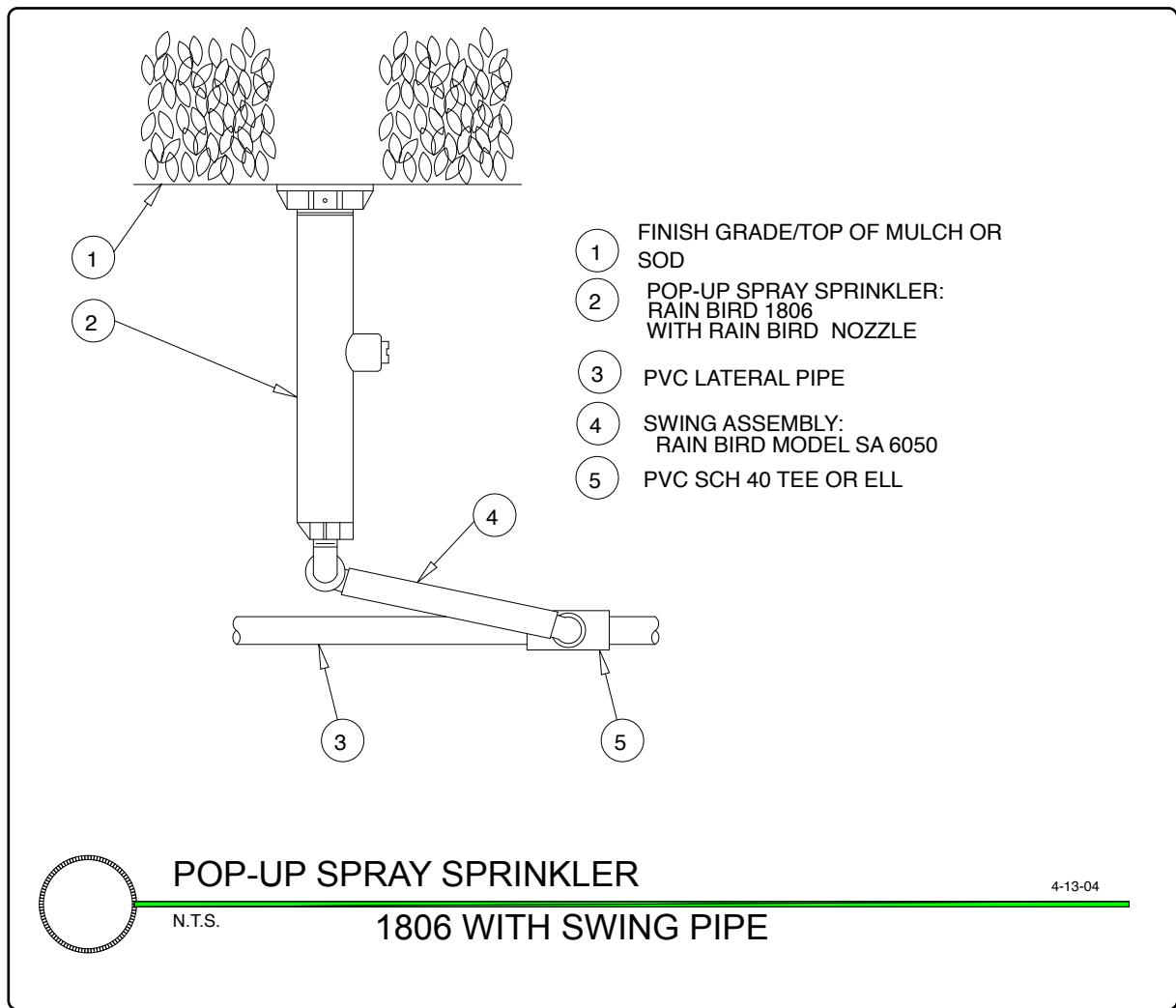
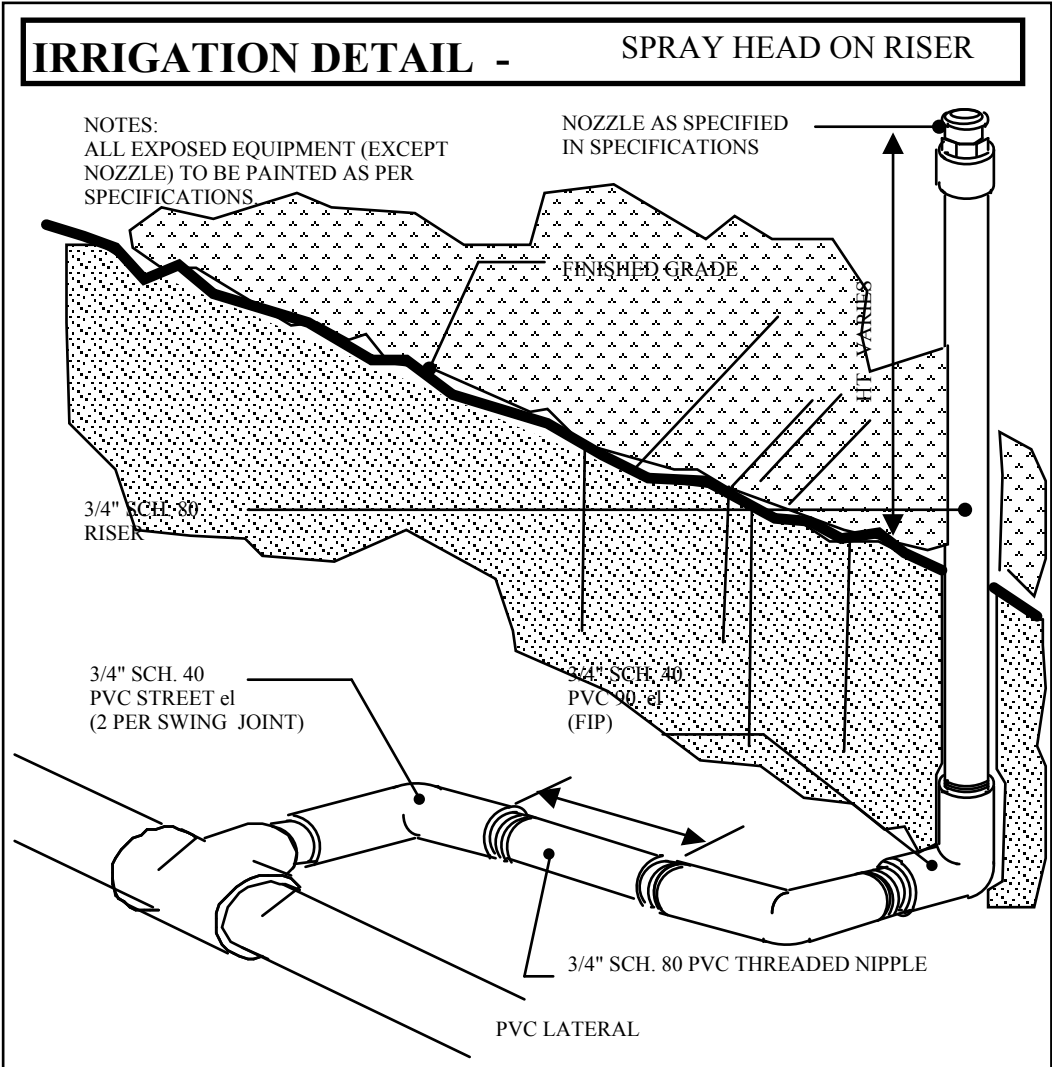
NOTE: ALL EQUIPMENT SPECIFIED IS FOR NEW OR REPLACEMENT EQUIPMENT NEEDED DUE TO DAMAGE, MISSING OR REQUESTED UPGRADES

KEY	NO.	CODE	ITEM DESCRIPTION	INSTALLATION SPEC.
	00V1	WIRE LOW VOLT	<p><b>Control wires</b> for 24V Automatic Valves, shall be installed by Irrigation Contractor. Wire shall be sleeved in minimum 1" SCH 40 electrical conduit buried a minimum of 24".</p> <p>Contractor shall run (2) spare control wires and (1) one spare common wire to the furthest ends of system in each direction. Common wire shall be grey or green, while the control wires shall each be a different color..</p>	<p>All irrigation control wires shall be U. L. approved 24V solid copper wire. Wires shall operate 24V automatic operator valves and enter the box from below. Hot and spare wires to be AWG size 14 gauge and common wires to be AWG white size 12 gauge.</p> <p>Number 14 wire to be color coded separately with dark colors. Multi strand cable shall only be used between the controller and the first splice pit and not exceed 20 feet.</p> <p>No splices between valves. All splicing shall be done in valve boxes only. All splices made with 3MBDY wire connectors. All valve box locations to be approved by the land arch. all valve boxes set level w/grade.</p>
	00V1A	MASTER VALVE	<p><b>Irritrol Series 700 or Series 100</b> Use Angle configuration</p> <p><b>3" valves for zones to GPM volumes 171-300</b> <b>2" valves for zones to GPM volumes 71-170</b> <b>1.5" valves for zones to GPM volumes 41-70</b> <b>1" valves for zones to GPM volumes btwn 10-40</b></p>	<p>All Valves shall be installed in a separate AMETEK valve box. All valve boxes to be placed upon a 2" layer of gravel. All valves assembled with Sch. 80 PVC nipples shall be used in place of male adapters. Top stem of valve assembly to be 6" below cap of valve cover box. This valve shall be used as the job standard. Valve controlling each zone as well as use as the Master Control Valve for applicable plans. All valve box locations to be approved by the Landscape Architect. All boxes to be set level with grade.</p>
	11	PIPE GEN NOTE	<p><b>LATERAL PIPE</b> All New Pipe and Fittings. Size as noted in plans.</p>	<p>3/4" Pipe to be <b>Class 200</b>. All other lateral pipe to be <b>Class 160</b>, except where ground is rocky, in rocky ground <b>SCH 40</b> pipe will be used. <b>Class 200/160</b> will be protected on all sides with at least 6" of clean, debris-free builders sand. All laterals to be placed 12" minimum below grade. All lateral pipe under pavement to be sleeved. <b>No lateral installed shall be less than 3/4".</b></p>
	12	PIPE GEN NOTE	<p><b>MAIN &amp; LATERALS</b></p> <p><b>MAINLINE SHALL NOT BE UNDER PRESSURE WHILE THE SYSTEM IS NOT IN OPERATION</b></p>	<p><b>Unless specifically detailed All PIPING locations shown on plans are schematic.</b> Contractor to adjust trenching in field for existing conditions, plantings and structures. Install pipes clear of hedge rows and tree rootballs. Irrigation contractor is responsible to adjust lateral at his own expense if not coordinated with all other work. All piping shall be used in clear fill per Florida Building Code 2001 and back fill all trenches free of debris. Mechanical trenchers are acceptable except in drainage swales and utility areas which shall be hand dug and backfilled to original grade.</p> <p><b>CONTRACTOR ADJUSTMENTS DOES NOT WARRANT ADDITIONAL COSTS BASED ON BASE BID.</b></p>
		PIPE GEN NOTE	<p><b>MAIN &amp; LATERALS BACKFILLING</b></p>	<p>Ground Level Areas. The sub-contractor shall do all necessary excavating and backfilling required for the proper installation of the work. Minimum depth of cover over piping shall be 12 inches. Backfill material shall be clean fill. If existing material has an excess of rock, then clean sand must be used. In rocky area, use Sch. 40 PVC or the trenching depth shall be two inches below normal trench depth to allow for a 2 inch bed of sand below the pipe. There shall be NO rock in contact with PVC pipe. The sub-contractor shall use backfilling equipment that will tamp backfill to its original density. He shall barricade or light the excavation to prevent hazards to the public. Objectionable materials such as old concrete, asphalt, lime rock and bricks that are encountered during working operations, shall be removed from the project by the sub-contractor. Sub contractor shall be responsible to locate any above or underground utilities prior to starting work. If utilities are found to be in conflict with the proposed work the Owner or owner's agent shall be notified immediately.</p>
		SLV LINE NOTE	<p><b>SLEEVES IN THIS CONTRACT</b> Sleeves under roadways and driveways shall be SCH 40. Sleeves under sidewalks can be CLASS 160 PVC Install as per details and specifications.</p>	<p>Each sleeve shall be a minimum of two sizes larger than lateral pipe enclosed and each crossing shall include separate electrical conduit sleeves. All sleeves under pavement or roads shall be a minimum of 24" below the top of paving to the top of the sleeve and under walks at 12" below grade. Irrigation contractor shall supply and place sleeves, and be responsible for their locations. Sleeving shall be installed at the most logical locations to avoid underground utilities and structures. Sleeving locations shall be considered schematic on irrigation Plans.</p> <p>The GC shall backfill and pave as required. No rock shall be in contact with PVC sleeves.</p> <p>All Asphalt base compaction and paving shall be made by the Paving Contractor on the job.</p>
	00C17	CON	<p><b>IRRIGATION CONTROLLER HUNTER ICC SERIES OR EQUAL</b> Electromechanical controller. Add zone modules as needed.</p> <p>Controller will be installed as part of the pump station within pump enclosure. Contractor shall provide electrical service to pump station.</p> <p>Electrical hook-up provided by GC's electrician on site. Irrigation Contractor to coordinate with GC/ Electrician</p>	<p>Contractor shall mark stations on the controller panel to correspond with the zone numbers on this plan and set operating sequence to correspond with the numbering. OF COLORS DESIGNATED FOR</p>
		RAIN sensor	<p><b>"MINI CLIK"</b> RAIN SENSOR MODEL 502</p> <p>TO BE INSTALLED BY IRRIGATION CONTRACTOR IN AN EASILY ACCESSIBLE POSITION CLEAR OF OVERHEAD OBSTRUCTIONS</p>	<p>"MINI CLIK" Mount the Mini Klik PER MANUFACTURER'S SPECIFICATIONS. Each system shall have it's own individual rain sensor. Contractor is responsible for a fully operational system from timeclock to location of the sensor.</p>



NOTE: SEE PIPE SLEEVING SCHEDULE FOR SLEEVE SIZES. FOR PIPES 2 1/2" AND OVER THERE SHOULD BE A 2" MINIMUM BETWEEN THE INSIDE WALL OF THE SLEEVE AND THE OUTSIDE WALL OF THE PIPE.

6" COMPACTED ROCK  
6" MIN. COMPACTED SAND  
UNDER CONCRETE WALKWAYS.




## IRRIGATION DETAILS AND SPECIFICATIONS

**PROJECT:**

PROJECT: NEW HORIZON METHODIST CHURCH  
MISSION BUILDING  
5741 S. FLAMINGO RD.  
SOUTHWEST RANCHES, FL.

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SEAL:

DATE DRAWN: 9-21-18

SHEET NO.

IR-2



ALL LANDSCAPING SHALL MEET OR EXCEED TOWN OF SW RANCHES CODE REQUIREMENTS.

ALL EXISTING TREES WITHIN THE LIMITS OF WORK SHALL BE PROTECTED BY A TREE PROTECTION BARRIER (SEE DETAIL SHEET L-2)

ALL UTILITIES SHALL BE SCREENED WITH 36"HT. SHIRUB MATERIALS IF NOT ALREADY SHOWN ON PLANS.

ALL CANOPY TREES SHALL BE PLANTED A MIN. OF 15' FROM LIGHT POLES. ALL PALMS SHALL BE 7.5' FROM LIGHT POLES

ALL TREES SHALL BE PLANTED A MIN. OF 5' FROM HARDSCAPE (E.G. SIDEWALKS, DRIVEWAYS, PAVERS, CURBS, GUTTERS, PARKING LOTS, IN-GROUND UTILITY BOXES, ECT. LARGE AND MEDIUM MATURING TREES MUST BE A MIN. OF 10' FROM A BUILDING OR LIGHT POLE. PALMS SHALL BE PLANTED A MIN. OF 3' FROM HARDSCAPE (E.G. SIDEWALKS, DRIVEWAYS, PAVERS, CURBS, GUTTERS, PARKING LOTS, IN-GROUND UTILITY BOXES, ECT. PALMS SHALL BE PLANTED 2" + LENGTH OF GIVEN FROND FROM BUILDINGS AND LIGHT POLES.

ALL SHRUBS AND GROUNDCOVERS OF DIFFERENT SPECIES PLANTED ADJACENT TO EACH OTHER SHALL BE SEPARATED BY A MIN OF 18" GROUNDCOVERS SHALL BE INSTALLED AT 75% COVERAGE AND 100% WITHIN 6 MONTHS AFTER FINAL.

ALL PRINCIPALS OF FLORIDA FRIENDLY LANDSCAPING AND DESIGN STANDINGS SHALL BE UTILIZED.

CONTRACTOR SHALL THE NEW IRRIGATION EQUIPMENT INTO THE EXISTING SYSTEM AT MOST LOGICAL LOCATION. CONTRACTOR SHALL VERIFY THAT ALL EXISTING AND PROPOSED LANDSCAPE MATERIAL REVIVES 100% COVERAGE. A RAIN SENSOR SHALL BE PROVIDED IF NOT ALREADY EXISTING. CONTRACTOR SHALL ADJUST HEADS TO AVOID OVER SPRAY ON IMPERVIOUS AREAS. ALL PVC RISERS SHALL BE PAINTED FLAT BLACK.

CONTRACTOR SHALL USE PLANTING SOIL PURSUANT TO SPECIFICATIONS ON SHEET L-3

CONTRACTOR SHALL PROVIDE A 1YEAR WARRANTEE ON LANDSCAPE MATERIALS.

ALL INVASIVE EXOTIC PEST PLANTS SHALL BE REMOVED FROM THE SITE.

ALL OWNERS OF THE LAND OR THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING.

ALL PLANTING TO BE DONE WITHIN ACCORDANCE TO PROPER HORTICULTURAL PRACTICES.

ALL TREES SHALL BE A MIN. OF 5' FROM UNDERGROUND. CONTRACTOR SHALL INSTALL A ROOT BARRIER BETWEEN ALL TREES AND UTILITIES/STRUCTURES WITHIN 5' OF EACH OTHER. ROOT BARRIER SHALL BE 24" DEEP.

ALL FIRE HYDRANTS AND FIRE CHECK VALVES SHALL HAVE A MIN. OF 7.5' FROM FRONT AND SIDES WITH 4' FROM THE REAR TO ALL LANDSCAPE MATERIALS

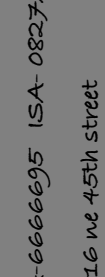

CONTRACTOR SHALL VISIT SITE TO VERIFY LOCATIONS OF EXISTING LANDSCAPE MATERIALS AND UTILITIES. CONTRACTOR SHALL SCHEDULE A PRE-INSTALLATION MEETING WITH LANDSCAPE DEPARTMENT STAFF MEMBER.

ALL TREES TO BE RELOCATED/REMOVED WILL REQUIRE A TREE REMOVAL PERMIT PRIOR TO REMOVAL.

TREE PROTECTION BARRIERS SHALL BE INSTALLED AND SECURED PRIOR TO ANY CONSTRUCTION SEE DETAIL SHEET L-3

CONTRACTOR SHALL REMOVE ALL INVASIVE EXOTIC MATERIALS FROM THE SOUTH LANDSCAPE BUFFER AND INSTALL HEDGE AS NOTED. ALL INVASIVE EXOTICS SHALL BE REMOVED FROM THE PROPERTY. ALL VOIDS IN THE LANDSCAPE DUE TO INVASIVE EXOTIC REMOVALS SHALL BE SODDED OR REPLACED WITH SHRUBS/ GROUND COVERS. REFER TO TOWN OF SW RANCHES INVASIVE/EXOTIC TREE LIST SEC. 075-060 (D) ALL TREES TO REMAIN SHALL BE CORRECTIVELY PRUNED AS NEEDED PER ANSI-300 STD'S ALL PRUNING SHALL BE DONE OR SUPERVISED BY A FL. CERTIFIED ARBORIST. EXISTING BLACK OLIVE TREES SHALL BE CORRECTIVELY PRUNED TO AVOID CONFLICTS WITH OVER HEAD ELECTRIC.

NOTE: REFER TO SHEET L-3 FOR ALL PROPOSED LANDSAPE MATERIAL SPECIFICATIONS



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of-3



RELOCATION / TRANSPLANTING NOTES

All relocated trees less than 9" (measured 12" above grade) shall be relocated using a 90" tree spade by an operator experienced and trained in this area. The Landscape Architect will supply a list of local companies capable of this type of work upon request. Contractor is responsible to root prune trees a min. of 6 weeks prior to relocation.

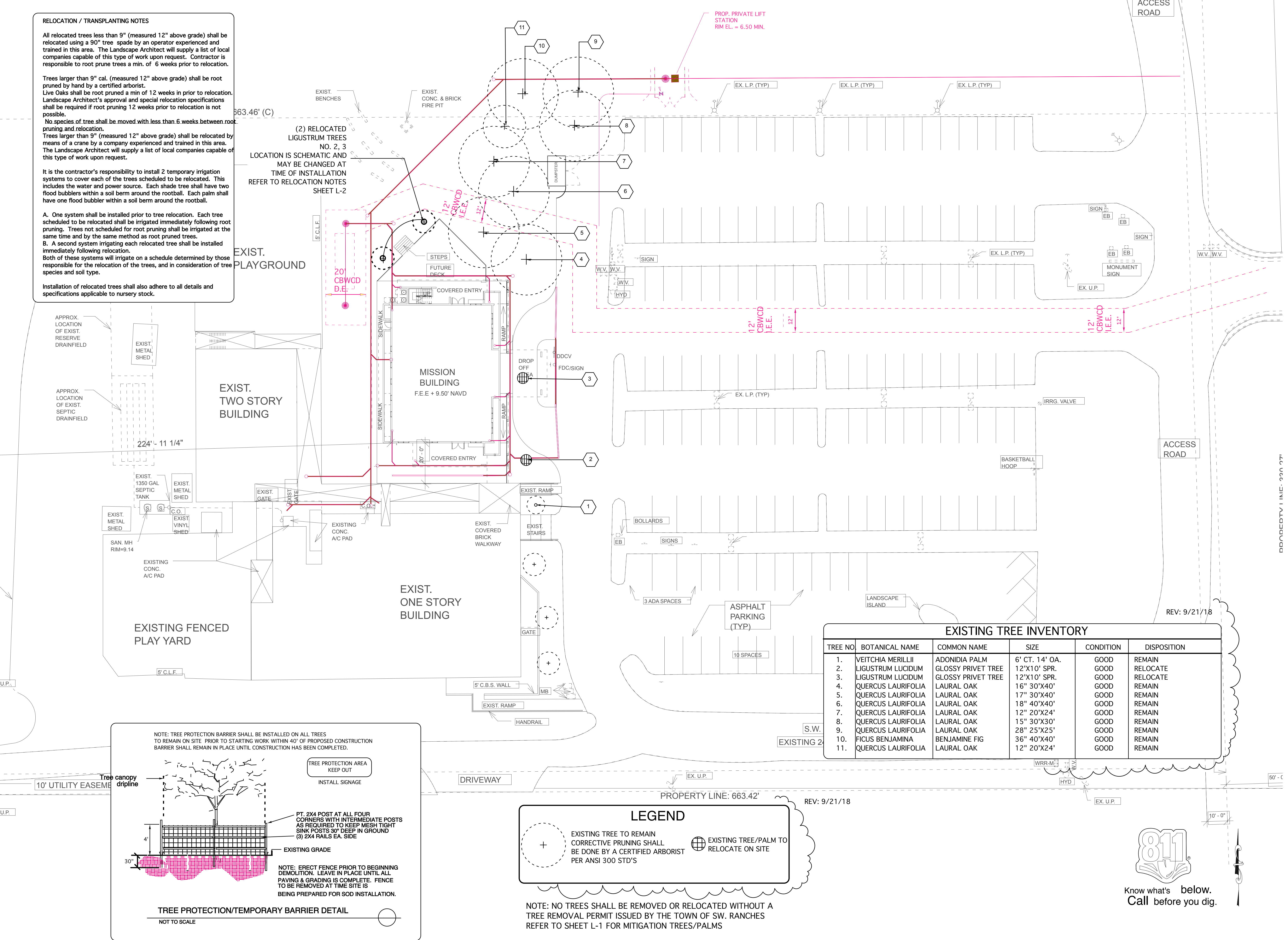
Trees larger than 9" cal. (measured 12" above grade) shall be root pruned by hand by a certified arborist. Live Oaks shall be root pruned a min of 12 weeks in prior to relocation. Landscape Architect's approval and special relocation specifications shall be required if root pruning 12 weeks prior to relocation is not possible.

No species of tree shall be moved with less than 6 weeks between root pruning and relocation. Trees larger than 9" (measured 12" above grade) shall be relocated by means of a crane by a company experienced and trained in this area. The Landscape Architect will supply a list of local companies capable of this type of work upon request.

It is the contractor's responsibility to install 2 temporary irrigation systems to cover each of the trees scheduled to be relocated. This includes the water and power source. Each shade tree shall have two flood bubblers within a soil berm around the rootball. Each palm shall have one flood bubbler within a soil berm around the rootball.

A. One system shall be installed prior to tree relocation. Each tree scheduled to be relocated shall be irrigated immediately following root pruning. Trees not scheduled for root pruning shall be irrigated at the same time and by the same method as root pruned trees.  
B. A second system irrigating each relocated tree shall be installed immediately following relocation. Both of these systems will irrigate on a schedule determined by those responsible for the relocation of the trees, and in consideration of tree species and soil type.

Installation of relocated trees shall also adhere to all details and specifications applicable to nursery stock.



LA 666665 USA 0829A  
1016 rd 45th street  
cibola rd, fl 33334  
tel. 954-763-4071  
954-763-1047  
e. mldesigns@mla.com  
mldesigns.com

landscape architecture

REVISIONS:
REV: 9/21/18

SHEET TITLE:  
EXISTING TREE  
DISPOSITION  
PLAN

PROJECT:  
NEW HORIZON METHODIST CHURCH  
MISSION BUILDING  
5741 S. FLAMINGO RD.  
SOUTHWEST RANCHES, FL.

"TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE PROPERTY OF MLA Group, Inc. AND IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, SCANNED OR COPIED BY ANY OTHER MEANS IN PART OR IN WHOLE WITHOUT EXPRESS WRITTEN PERMISSION OF SAME" © MLA Group Inc.

SEAL:

SCALE: 1"=20'  
DATE DRAWN: 4/12/18  
SHEET NO.

L-2



# NEW HORIZON UNITED METHODIST CHURCH - MISSION BUILDING

WATER, SEWER, PAVING AND DRAINAGE PLANS  
SOUTHWEST RANCHES, BROWARD COUNTY, FLORIDA

DEVELOPER:

NEW HORIZON UNITED METHODIST CHURCH, INC.  
5741 S. FLAMINGO ROAD,  
SOUTHWEST RANCHES, FL 33330  
TEL: (954)434-7400

ENGINEER:

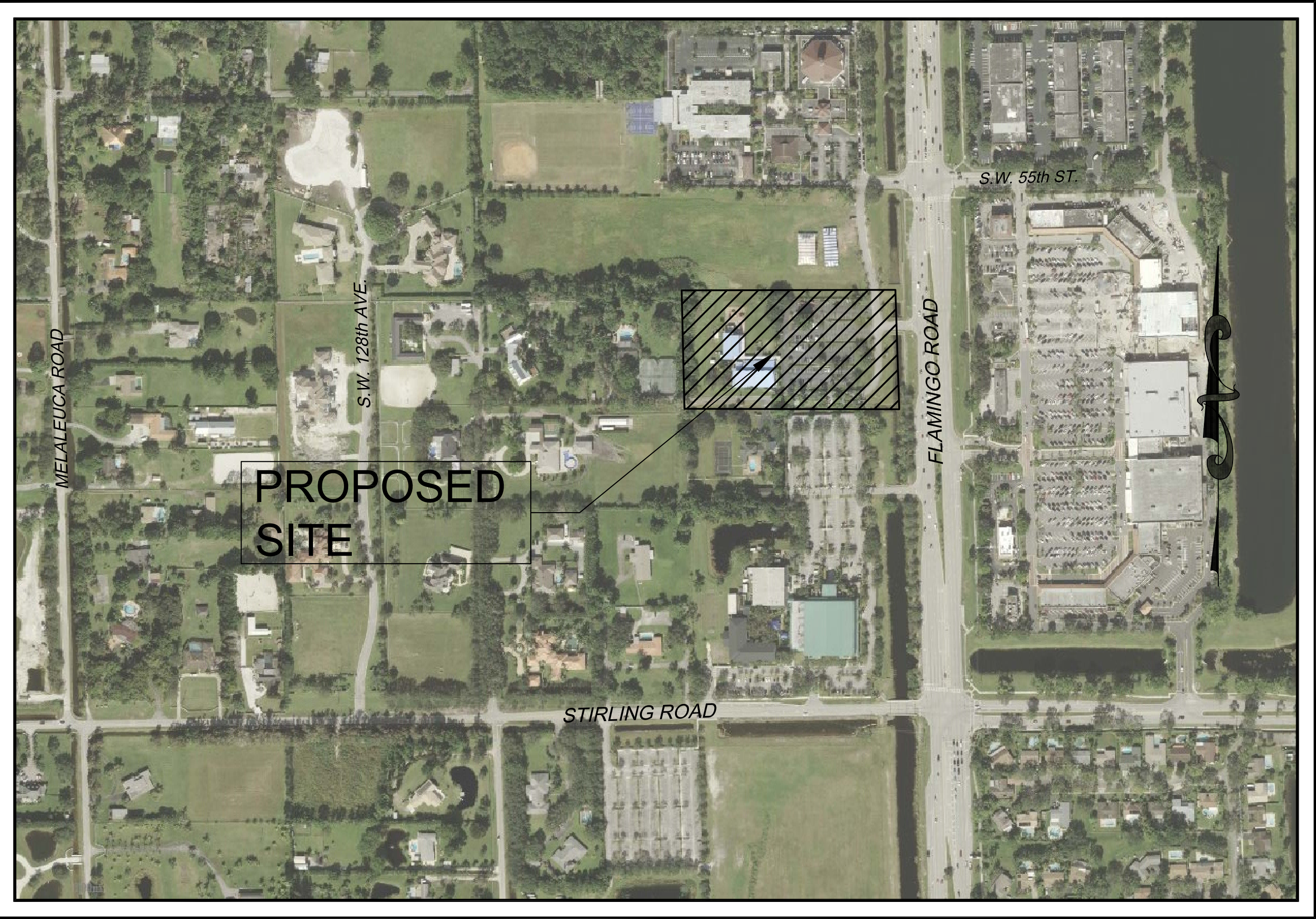
PILLAR CONSULTANTS, INC.  
5230 S. UNIVERSITY DRIVE, SUITE 104  
DAVIE, FL 33328  
TEL: (954)680-6533

ARCHITECT:

SQUARE ONE ARCHITECTURE, INC  
3321 NW 97TH AVENUE  
SUNRISE, FL 33351  
TEL: (954)861-0852

LANDSCAPE DESIGNER:

McCLURE LANDSCAPE ARCHITECTURE, INC.  
690 N.E. 13th STREET, SUITE 105  
FT. LAUDERDALE, FL 33304  
TEL: (954)763-4071  
FAX: (954)337-0817



LOCATION MAP

NOT TO SCALE

SECTION 35, TOWNSHIP 50 SOUTH, RANGE 40 EAST

SHEET INDEX:

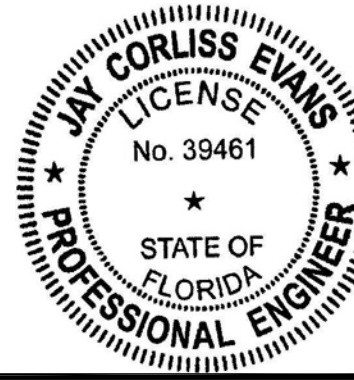
CS-1	COVER SHEET
SP-1	APPROVED SITE PLAN
SP-2	APPROVED SITE DETAILS
SU-1	BOUNDARY/TOPO SURVEY
C-1	PAVING, GRADING AND DRAINAGE PLAN
C-2	ENGINEERING DETAILS
C-3	WATER AND SEWER PLAN
LS-1	LIFT STATION SPECIFICATIONS
C-4	GENERAL NOTES AND SPECIFICATIONS
C-5	GENERAL NOTES AND SPECIFICATIONS
FR-1	FIRE RESCUE PLAN
ER-1	EROSION CONTROL PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE MATERIAL SPECIFICATIONS
L-3	LANDSCAPE DETAILS AND SPECIFICATIONS

LAND DESCRIPTION

SOUTH ONE HALF (1/2), NEW HORIZON UNITED METHODIST CHURCH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 122, PAGE 46, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING, AND BEING IN THE CITY OF PEMBROKE PINES, BROWARD COUNTY, FLORIDA.

ENGINEER'S SEAL  
NOT VALID WITHOUT  
ORIGINAL SIGNATURE



SHEET	TITLE
	COVER SHEET

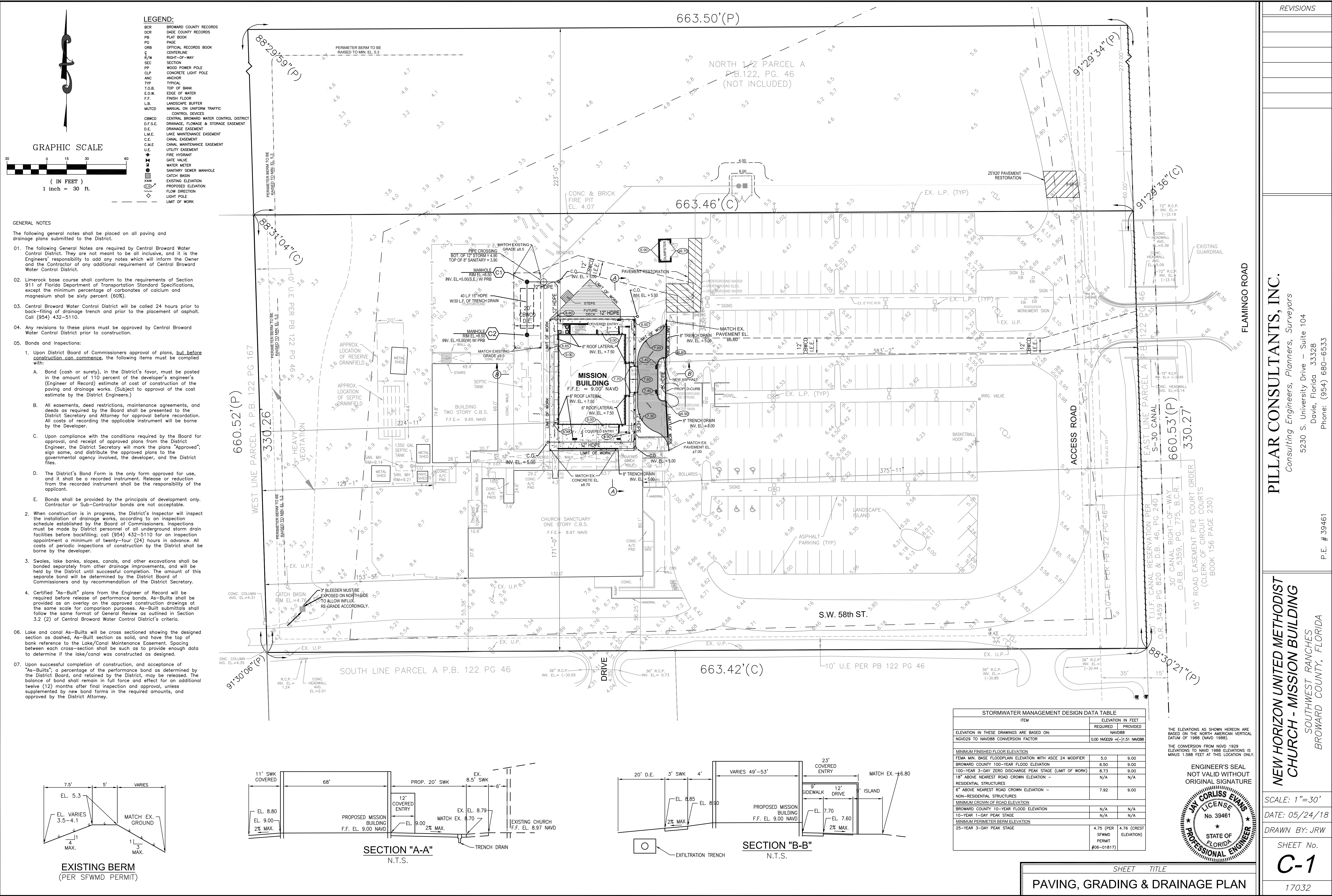
REVISIONS

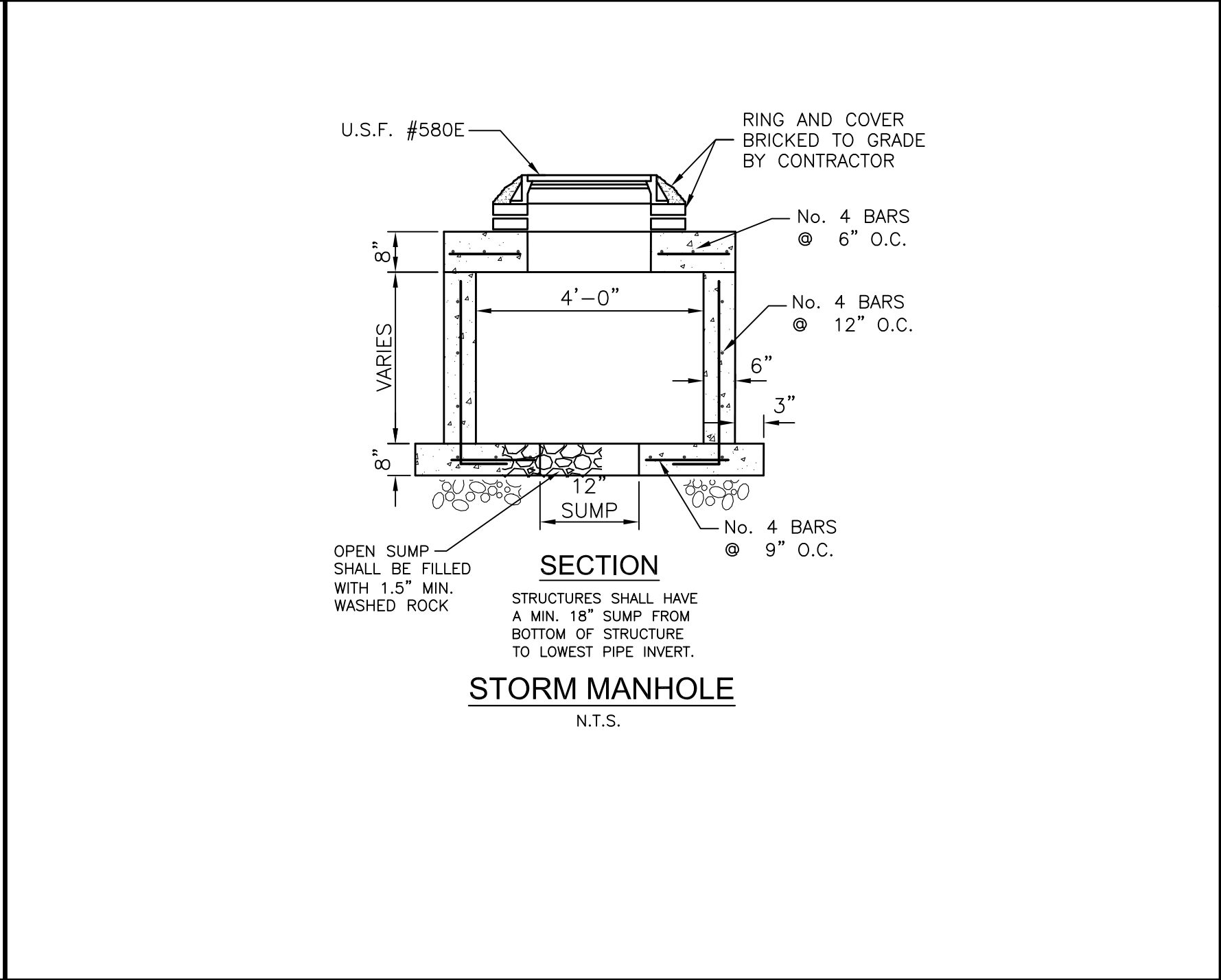
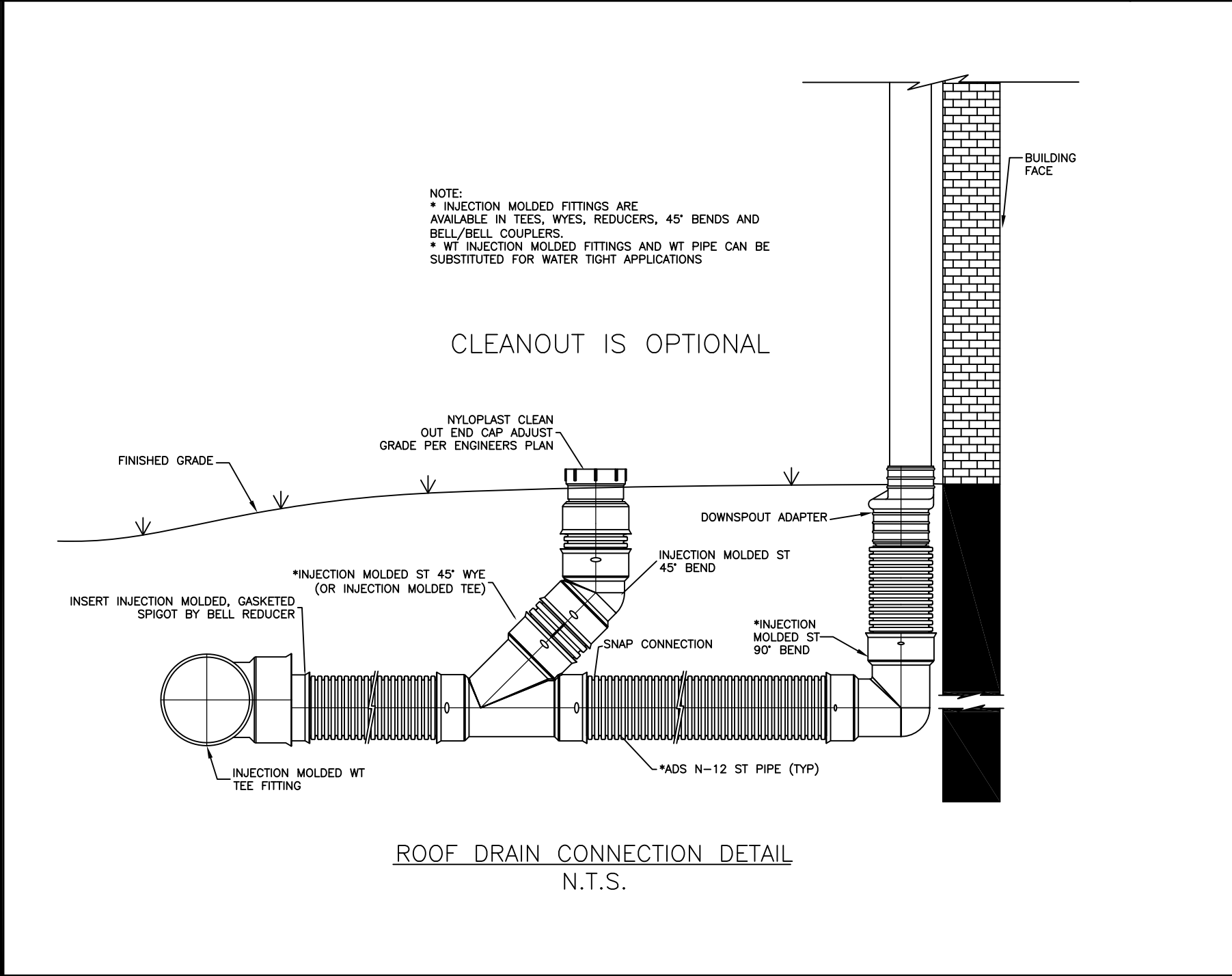
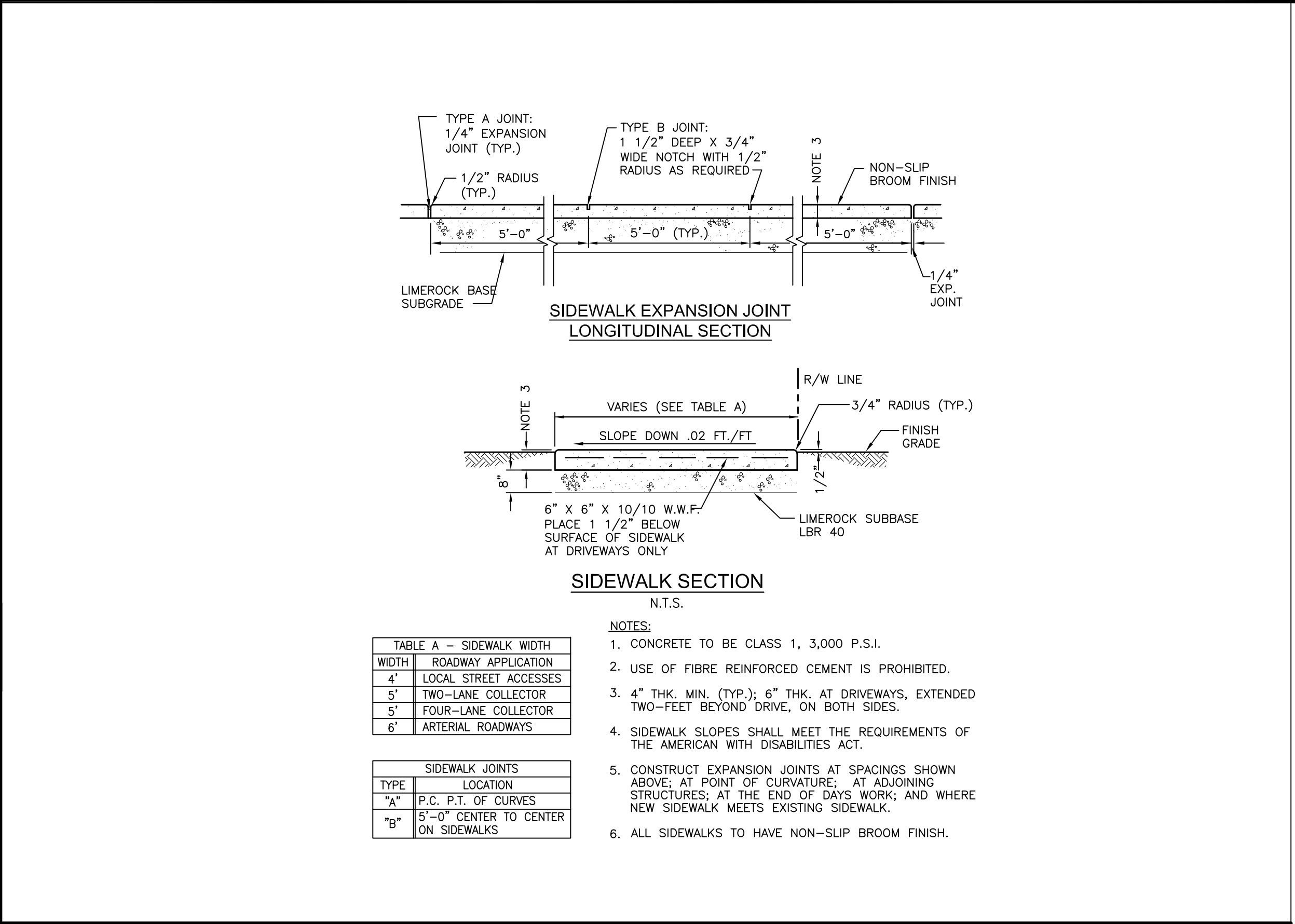
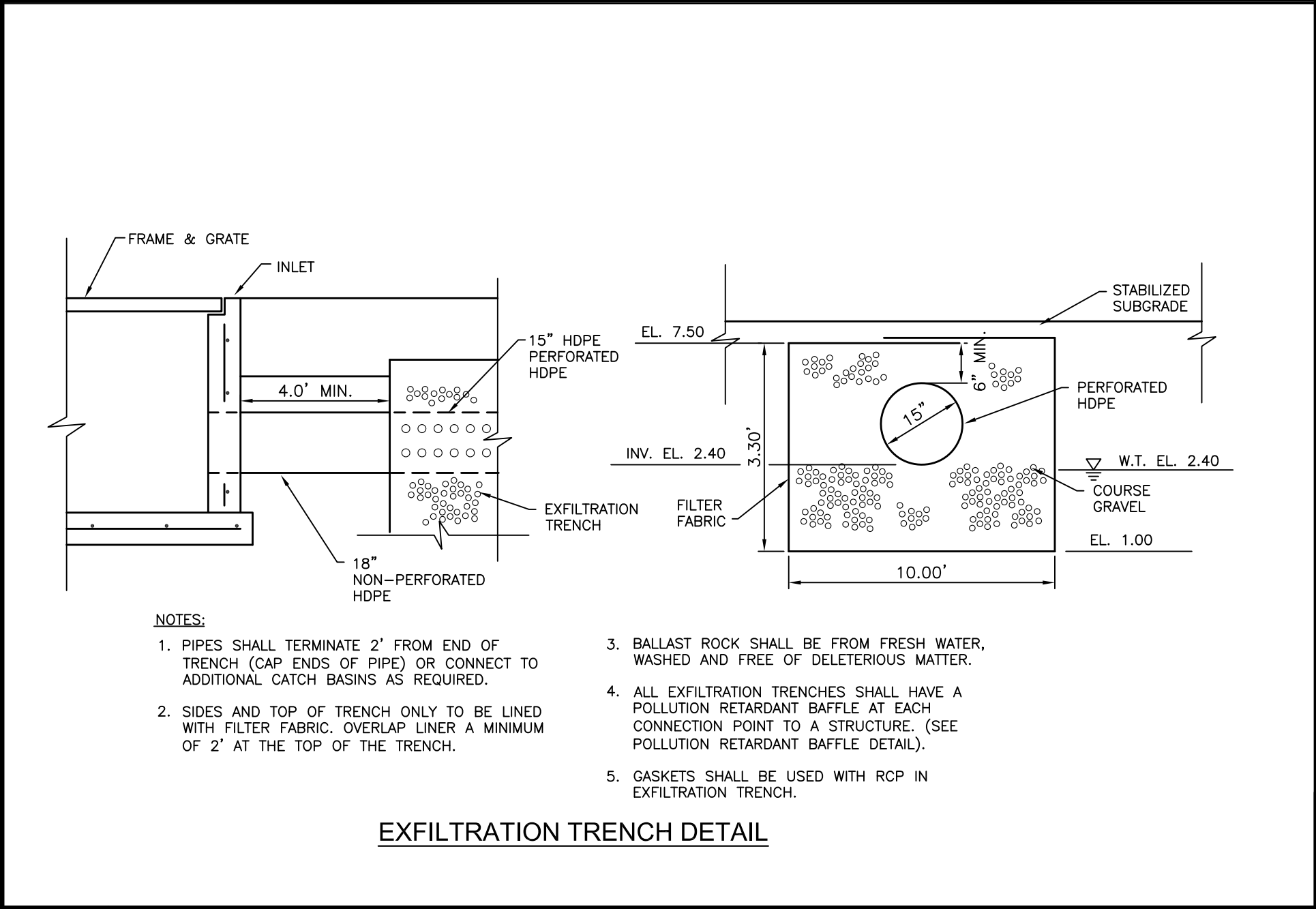
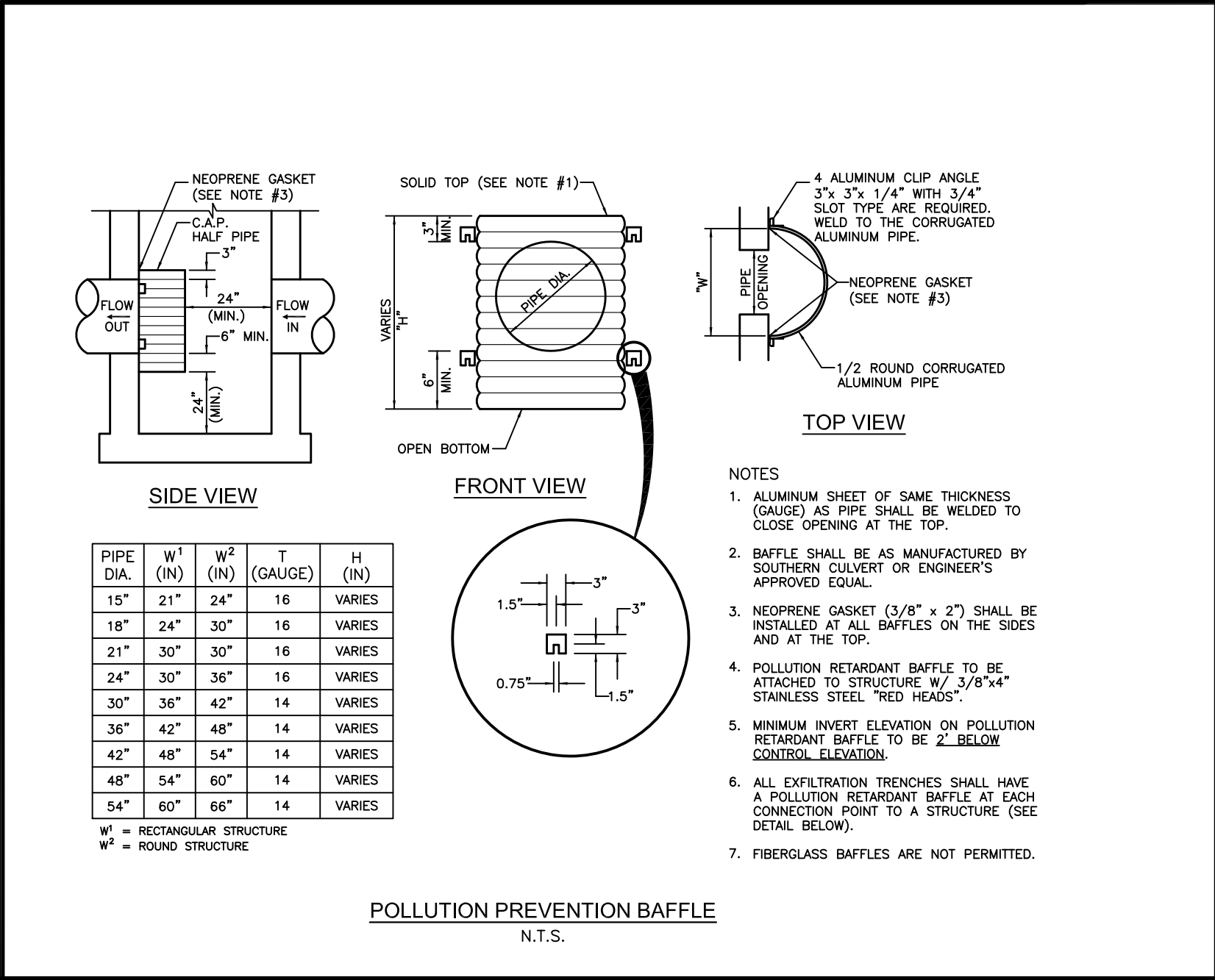
**PILLAR CONSULTANTS, INC.**  
Consulting Engineers, Planners, Surveyors  
5230 S. University Drive – Suite 104  
Davie, Florida 33328  
Phone: (954) 680-6533

**NEW HORIZON UNITED METHODIST CHURCH - MISSION BUILDING**  
SOUTHWEST RANCHES  
BROWARD COUNTY, FLORIDA

SCALE: N.T.S.
DATE: 5/24/18
DRAWN BY: BAM
SHEET No.
<b>CS-1</b>
17032







THE ELEVATIONS AS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).

THE CONVERSION FROM NGVD 1929 ELEVATIONS TO NAVD 1988 ELEVATIONS IS MINUS 1.588 FEET AT THIS LOCATION ONLY.

**ENGINEER'S SEAL**  
NOT VALID WITHOUT ORIGINAL SIGNATURE

**JAY CORLISS EVANS**  
LICENSE  
No. 39461  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

**SHEET TITLE**

**ENGINEERING DETAILS**

**REVISIONS**

NO.	DESCRIPTION

**PILLAR CONSULTANTS, INC.**  
Consulting Engineers, Planners, Surveyors  
5230 S. University Drive - Suite 104  
Davie, Florida 33328  
Phone: (954) 680-6533

P.E. # 39461

**NEW HORIZON UNITED METHODIST CHURCH - MISSION BUILDING**  
SOUTHWEST RANCHES  
BROWARD COUNTY, FLORIDA

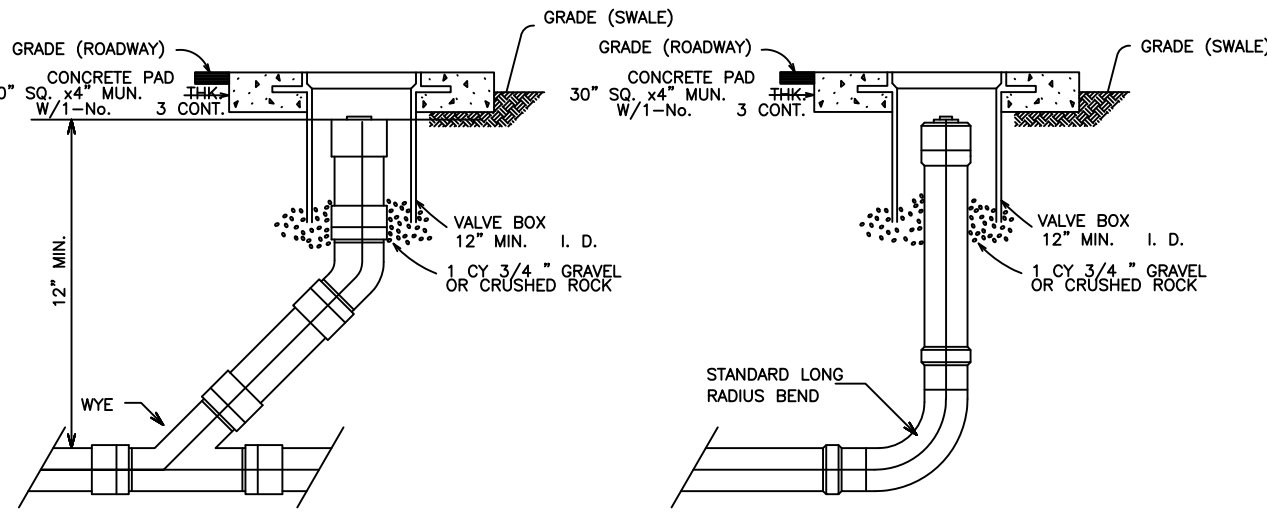
SCALE: N.T.S.

DATE: 05/24/18

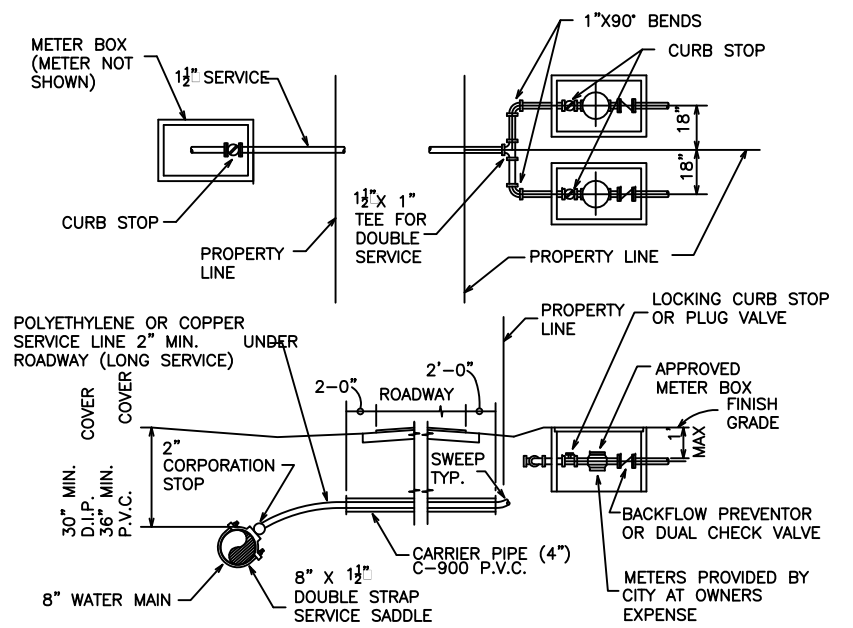
DRAWN BY: JRW

SHEET No.  
**C-2**  
17032



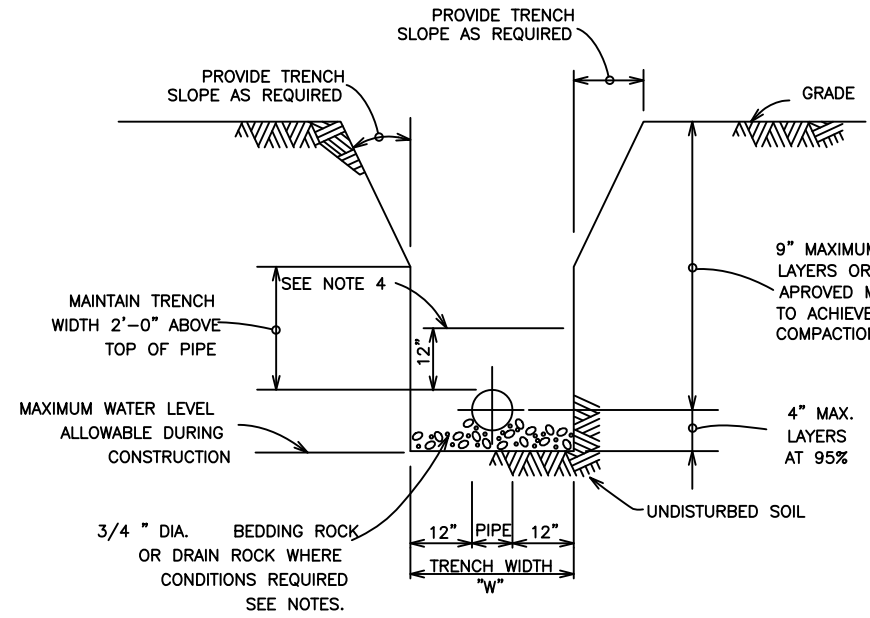


CLEAN-OUT DETAIL



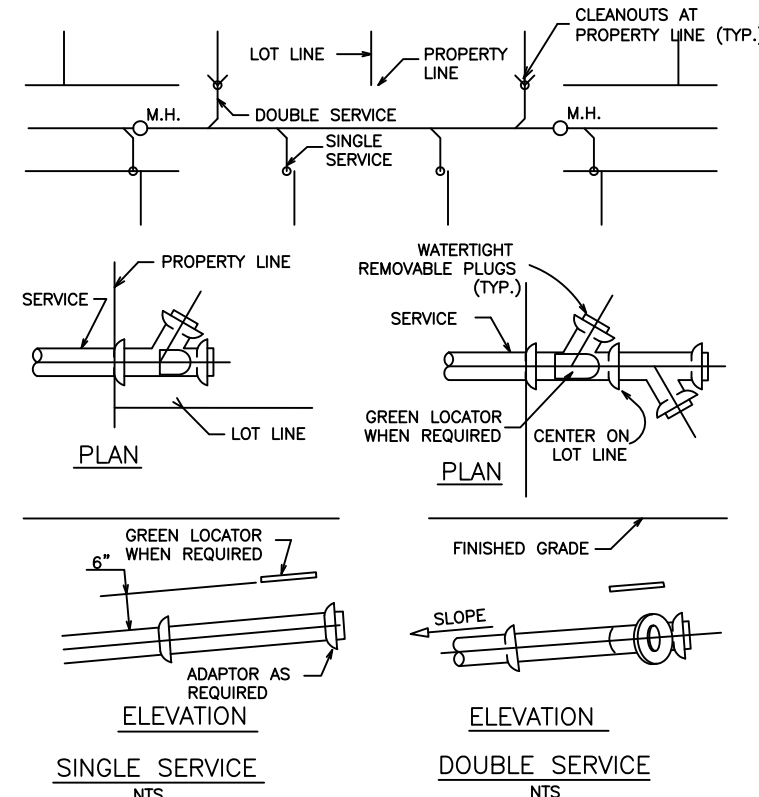
- NOTES
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE 18" CENTERS (MIN.)
  - SERVICE PIPE SHALL BE 2" MINIMUM (SHORT SERVICE) 2" MINIMUM (LONG SERVICE).
  - IF METERS AND BOXES ARE NOT SET AT THE TIME OF WATER MAIN CONSTRUCTION, A "GREEN LOCATOR" AS MANUFACTURED BY AUTOMATION PRODUCTS TO BE LOCATED OVER EACH SERVICE (SINGLE OR DOUBLE) AS REQUIRED BY THE UTILITY COMPANY.
  - SHORT SERVICES REQUIRE 18" MIN. COVER. LONG SHALL BE 24" COVER MIN. (ROADWAYS).
  - CONTRACTORS RESPONSIBILITY TO SET METER BOX.
  - METER BOXES TO BE SET IN GRASSY AREAS UNLESS OTHERWISE DIRECTED BY THE CITY.

WATER SERVICE DETAILS



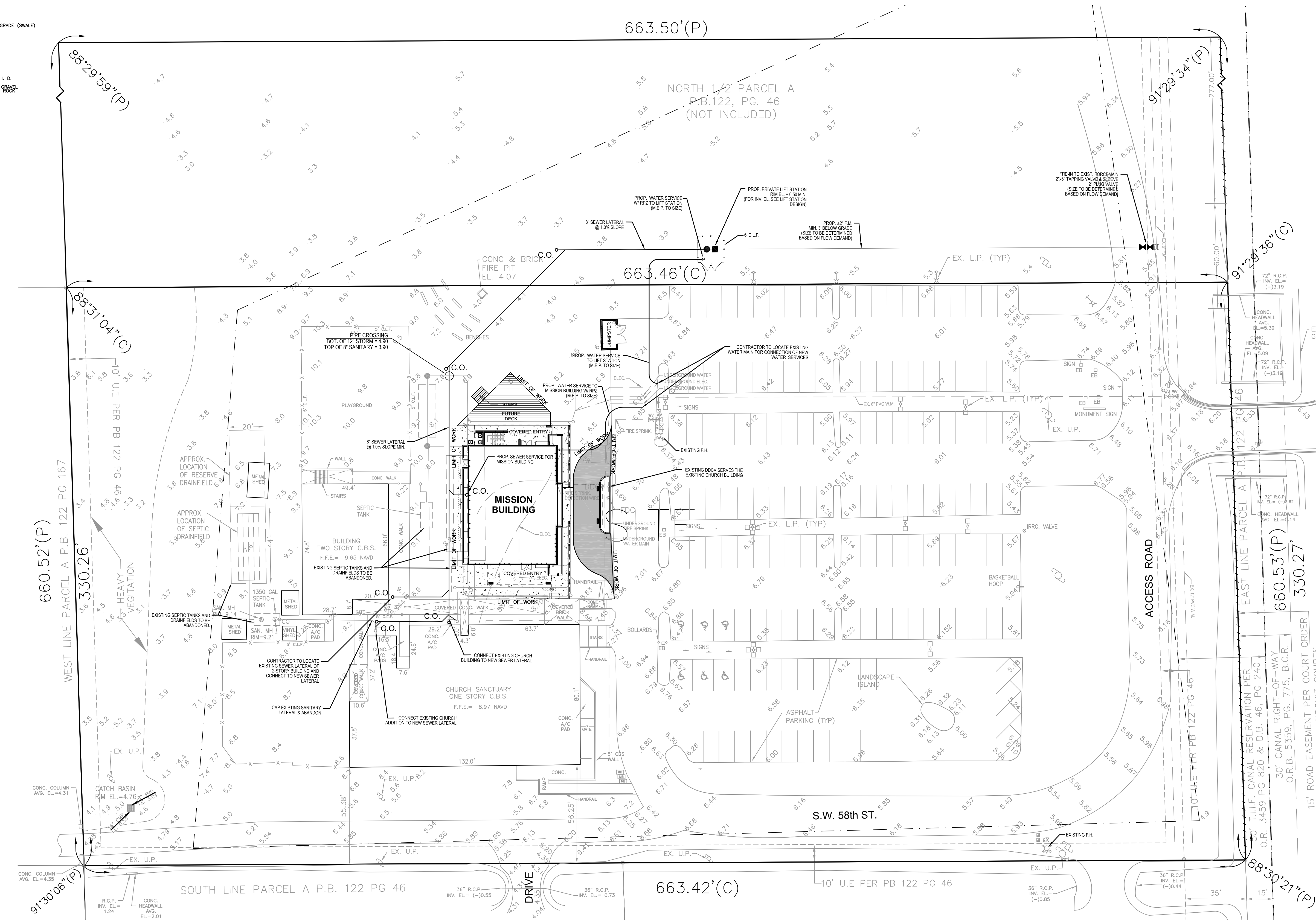
- NOTES
- WHERE SOILS CONDITIONS CAN NOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED METHOD OF CONSTRUCTION.
  - SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD. T-180.
  - COMPACTION PERCENTAGES SHOWN REFER TO A.A.S.H.T.O.
  - MECHANICAL COMPACTION NOT ALLOWED BELOW THIS LEVEL.
  - P.V.C. PIPE TO HAVE ROCK BACKFILL TO C OF PIPE.

(UNPAVED AREAS)  
TRENCH DETAIL



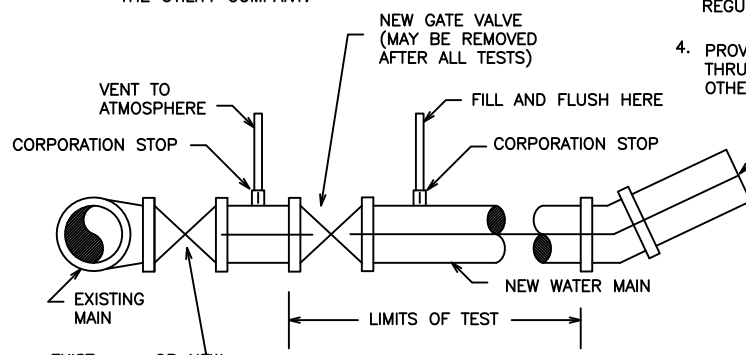
- NOTES
- SINGLE FAMILY RESIDENTIAL SERVICE LATERAL SHALL BE 6" (SINGLE OR DOUBLE) WITH 4" CONNECTIONS. (THIS INCLUDES MULTIPLE UNITS INDIVIDUALLY CONNECTED.)
  - MINIMUM SLOPES: 6" LATERAL - 1/4" PER FOOT
  - GREEN LOCATOR SHALL BE AS MANUFACTURED BY "AUTOMATION PRODUCTS COMPANY."

LATERAL CONNECTION DETAIL



NOTES

- REMOVE TEMPORARY CONNECTION AT CORPORATION STOPS ON NEW MAIN AFTER FILING AND FLUSHING HAS BEEN COMPLETED.
- DO NOT REMOVE TEMPORARY CONNECTION AT CORPORATION STOP ON NEW MAIN UNTIL ALL TESTING HAS BEEN COMPLETED.
- COMPLY WITH ALL BROWARD COUNTY HEALTH DEPT. REGULATIONS.
- PROVIDE ALL NECESSARY THRUST BLOCKS OR OTHER RESTRAINTS.



(FILLING AND FLUSHING)  
CONNECTION DETAIL

LEGEND:

- |        |                        |
|--------|------------------------|
| BCR    | BROWARD COUNTY RECORDS |
| DCR    | DADE COUNTY RECORDS    |
| PB     | PLAT BOOK              |
| PG     | PAGE                   |
| ORB    | OFFICIAL RECORDS BOOK  |
| C      | CENTERLINE             |
| R/W    | RIGHT-OF-WAY           |
| SEC    | SECTION                |
| PP     | WOOD POWER POLE        |
| CLP    | CONCRETE LIGHT POLE    |
| ANC    | ANCHOR                 |
| TYP    | TYPICAL                |
| T.O.B. | TOP OF BANK            |
| E.O.W. | EDGE OF WATER          |
| F.F.   | FINISH FLOOR           |
| L.B.   | LANDSCAPE BUFFER       |

LEGEND CONT:

- |          |  |
|----------|--|
| CBWD     | CENTRAL BROWARD WATER CONTROL DISTRICT |
| D.F.S.E. | DRAINAGE, FLOWAGE & STORAGE EASEMENT   |
| D.E.     | DRAINAGE EASEMENT                      |
| L.M.E.   | LAKE MAINTENANCE EASEMENT              |
| L.A.E.   | LAKE ACCESS EASEMENT                   |
| E.A.E.   | EMERGENCY ACCESS EASEMENT              |
| U.E.     | UTILITY EASEMENT                       |
| ●        | FIRE HYDRANT                           |
| ○        | GATE VALVE                             |
| ○        | WATER METER                            |
| ○        | BLOW OFF                               |
| ○        | SANITARY SEWER MANHOLE                 |
| ○        | CATCH BASIN                            |
| ○        | EXISTING ELEVATION                     |
| ○        | PROPOSED ELEVATION                     |
| ○        | FLOW DIRECTION                         |
| ○        | LIGHT POLE                             |
| ○        | TRAFFIC SIGN                           |
| ○        | MAIL BOX                               |

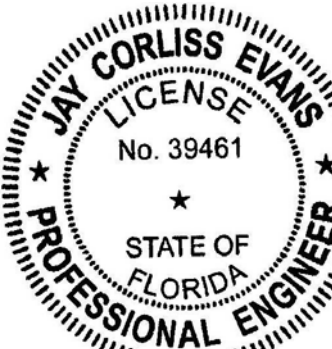
- BACTERIAL SAMPLING POINT
- GRAPHIC SCALE
- ( IN FEET )
- 1 inch = 30 ft.

THE ELEVATIONS AS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988).

THE CONVERSION FROM NGVD 1929 ELEVATIONS TO NAVD 1988 ELEVATIONS IS MINUS 1.588 FEET AT THIS LOCATION ONLY.

NOTE: Contractor to field verify location of existing water & sewer mains prior to connection. Location of existing water & sewer shown on plans were approximated based on AS-BUILTS provided by Cooper City.

ENGINEER'S SEAL  
NOT VALID WITHOUT ORIGINAL SIGNATURE



SHEET TITLE

WATER AND SEWER PLAN

PILLAR CONSULTANTS, INC.

Consulting Engineers, Planners, Surveyors

5230 S. University Drive - Suite 104

Davie, Florida 33328

Phone: (954) 680-6533

NEW HORIZON UNITED METHODIST  
CHURCH - MISSION BUILDING

SOUTHWEST RANCHES  
BROWARD COUNTY, FLORIDA

SCALE: 1"=30'

DATE: 05/24/18

DRAWN BY: JRW

SHEET No.

C-3

17032





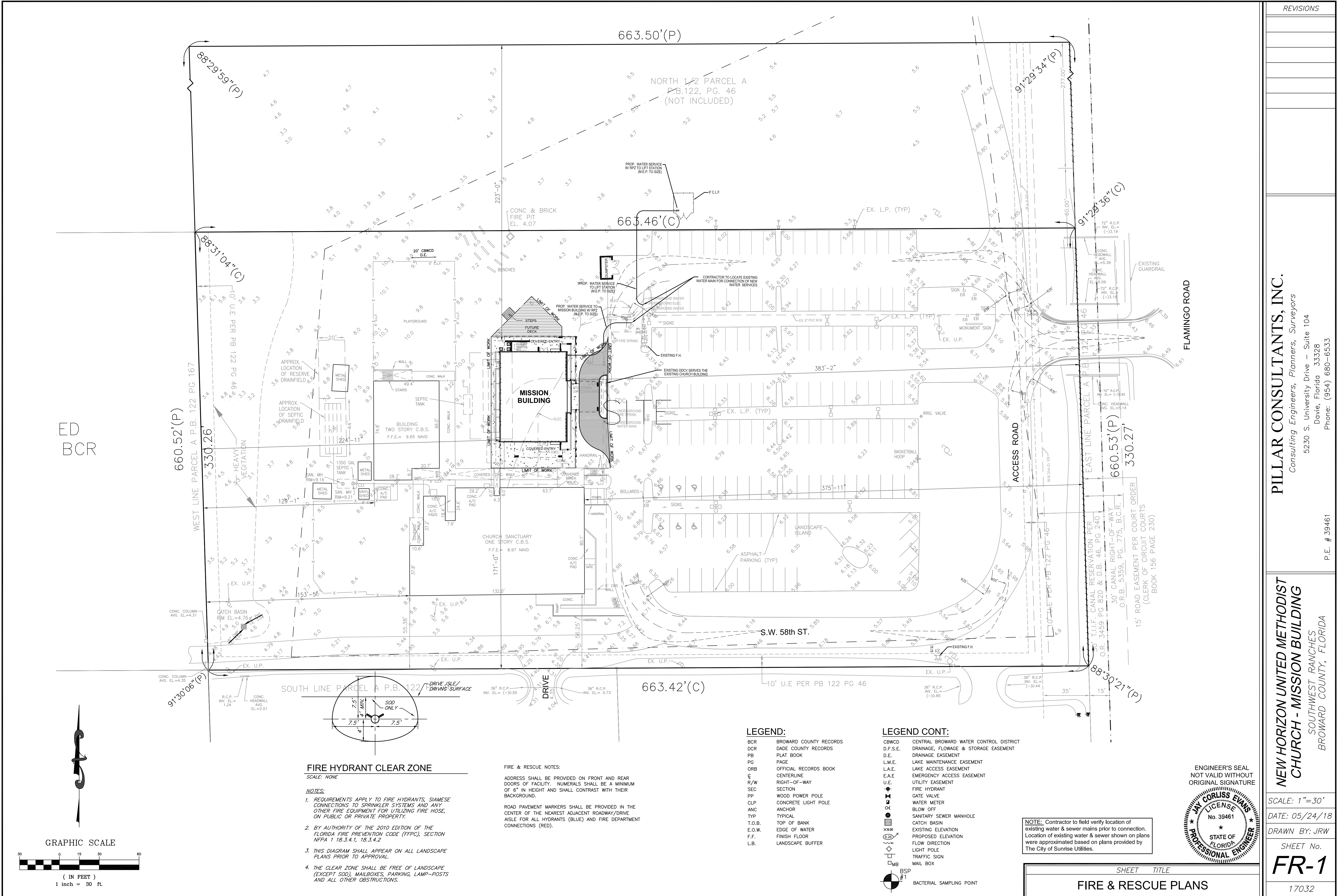






		REVISIONS	





REVISIONS

PILLAR CONSULTANTS, INC.

Consulting Engineers, Planners, Surveyors

5230 S. University Drive - Suite 104  
Davie, Florida 33328  
Phone: (954) 680-6533

NEW HORIZON UNITED METHODIST CHURCH - MISSION BUILDING

SOUTHWEST RANCHES  
BROWARD COUNTY, FLORIDA

SCALE: 1"=30'

DATE: 05/24/18

DRAWN BY: JRW

SHEET No.  
**FR-1**

17032

FIRE HYDRANT CLEAR ZONE

SCALE: NONE

NOTES:

1. REQUIREMENTS APPLY TO FIRE HYDRANTS, SIAMASE CONNECTIONS TO SPRINKLER SYSTEMS AND ANY OTHER FIRE EQUIPMENT FOR UTILIZING FIRE HOSE, ON PUBLIC OR PRIVATE PROPERTY.
2. BY AUTHORITY OF THE 2010 EDITION OF THE FLORIDA FIRE PREVENTION CODE (FFPC), SECTION NFPA 1 18.3.4.1, 18.3.4.2
3. THIS DIAGRAM SHALL APPEAR ON ALL LANDSCAPE PLANS PRIOR TO APPROVAL.
4. THE CLEAR ZONE SHALL BE FREE OF LANDSCAPE (EXCEPT SOD), MAILBOXES, PARKING, LAMP-POSTS AND ALL OTHER OBSTRUCTIONS.

FIRE & RESCUE NOTES:

ADDRESS SHALL BE PROVIDED ON FRONT AND REAR DOORS OF FACILITY. NUMERALS SHALL BE A MINIMUM OF 6" IN HEIGHT AND SHALL CONTRAST WITH THEIR BACKGROUND.

ROAD PAVEMENT MARKERS SHALL BE PROVIDED IN THE CENTER OF THE NEAREST ADJACENT ROADWAY/DRIVE AISLE FOR ALL HYDRANTS (BLUE) AND FIRE DEPARTMENT CONNECTIONS (RED).

LEGEND:

- BCR BROWARD COUNTY RECORDS
- DCR DADE COUNTY RECORDS
- PB PLAT BOOK
- PG PAGE
- ORB OFFICIAL RECORDS BOOK
- CL CENTERLINE
- R/W RIGHT-OF-WAY
- SEC SECTION
- PP WOOD POWER POLE
- CLP CONCRETE LIGHT POLE
- ANC ANCHOR
- TYP TYPICAL
- T.O.B. TOP OF BANK
- E.O.W. EDGE OF WATER
- F.F. FINISH FLOOR
- L.B. LANDSCAPE BUFFER

LEGEND CONT:

- CBWCD CENTRAL BROWARD WATER CONTROL DISTRICT
- D.F.S.E. DRAINAGE, FLOWAGE & STORAGE EASEMENT
- D.E. DRAINAGE EASEMENT
- L.M.E. LAKE MAINTENANCE EASEMENT
- L.A.E. LAKE ACCESS EASEMENT
- E.A.E. EMERGENCY ACCESS EASEMENT
- UTILITY EASEMENT
- FIRE HYDRANT
- GATE VALVE
- WATER METER
- BLOW OFF
- SANITARY SEWER MANHOLE
- CATCH BASIN
- EXISTING ELEVATION
- PROPOSED ELEVATION
- FLOW DIRECTION
- LIGHT POLE
- TRAFFIC SIGN
- MAIL BOX
- BSP BACTERIAL SAMPLING POINT

NOTE: Contractor to field verify location of existing water & sewer mains prior to connection. Location of existing water & sewer shown on plans were approximated based on plans provided by The City of Sunrise Utilities.

ENGINEER'S SEAL  
NOT VALID WITHOUT  
ORIGINAL SIGNATURE



SHEET TITLE

FIRE & RESCUE PLANS

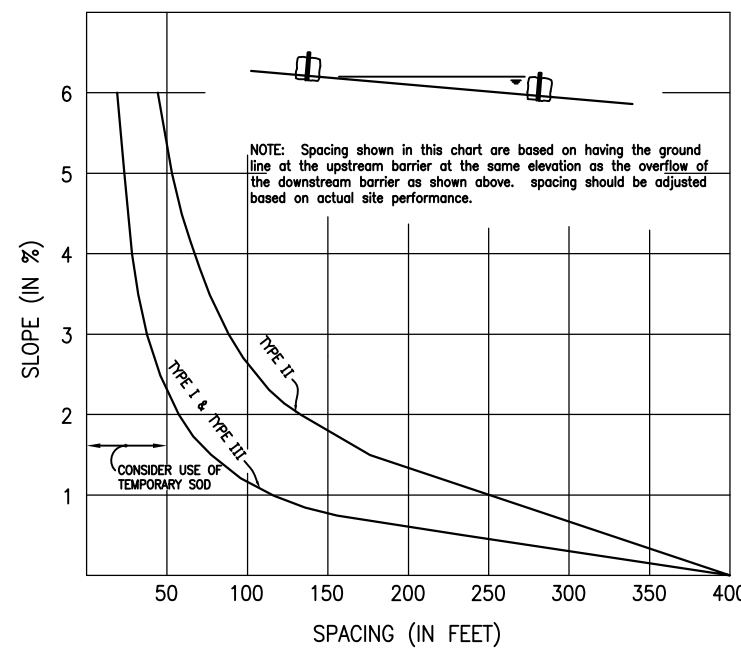
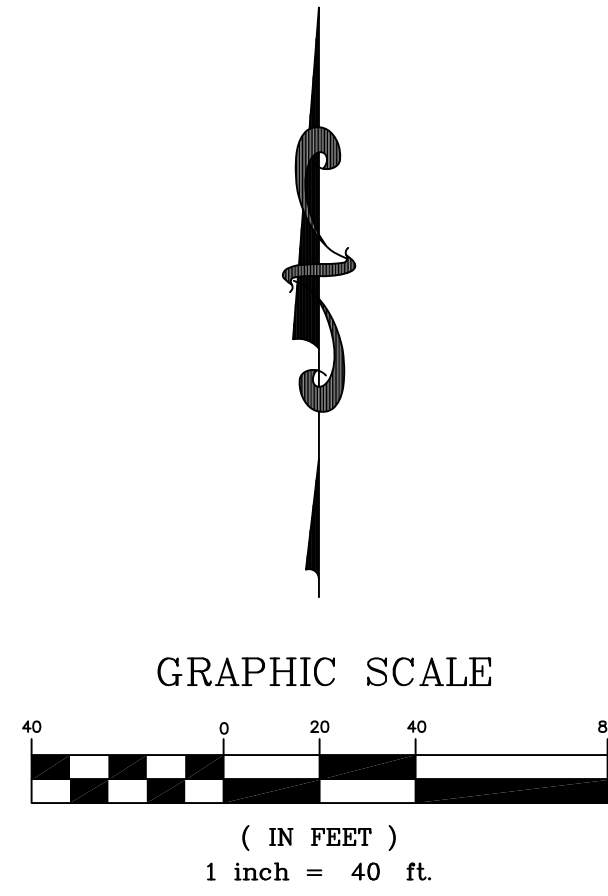
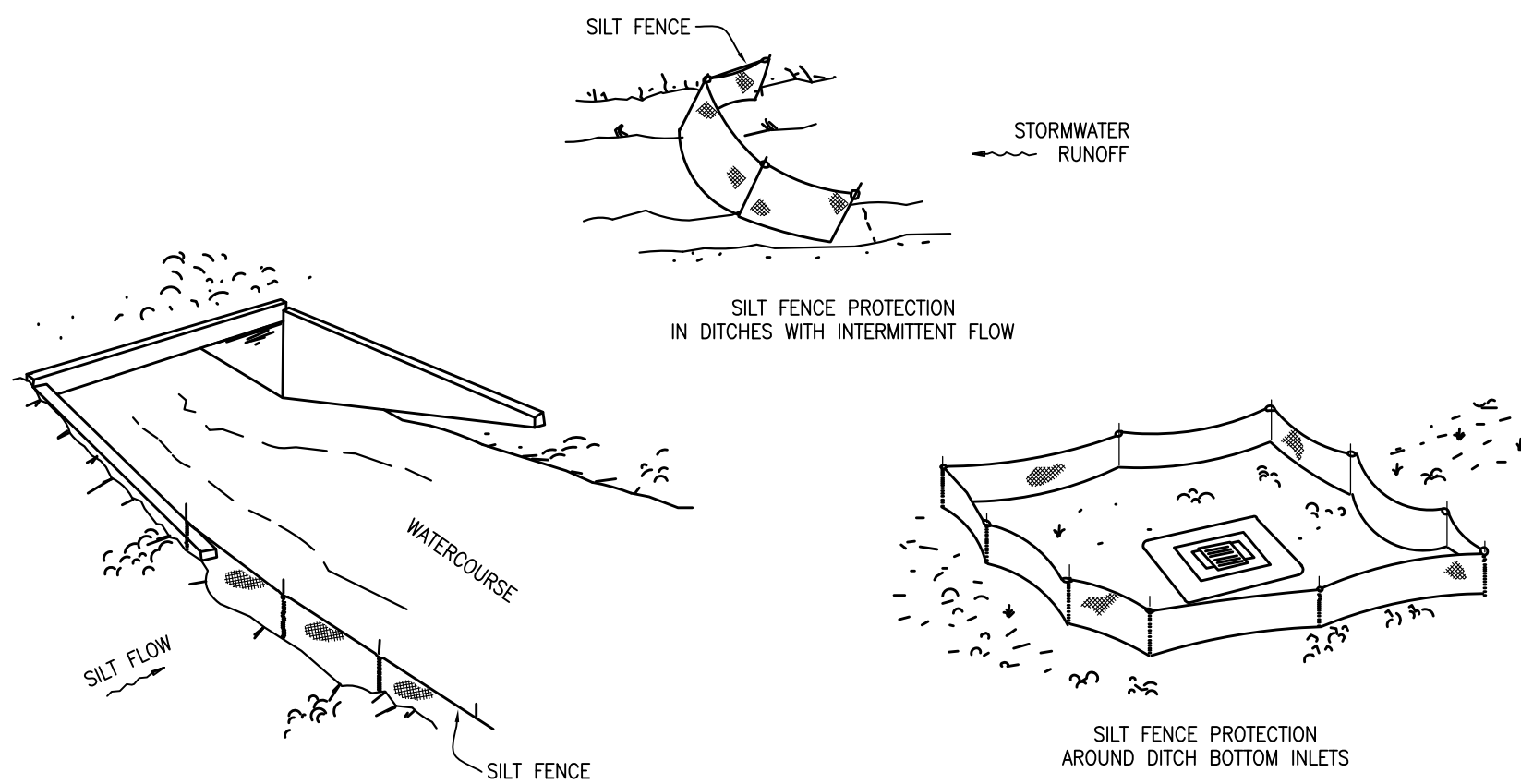


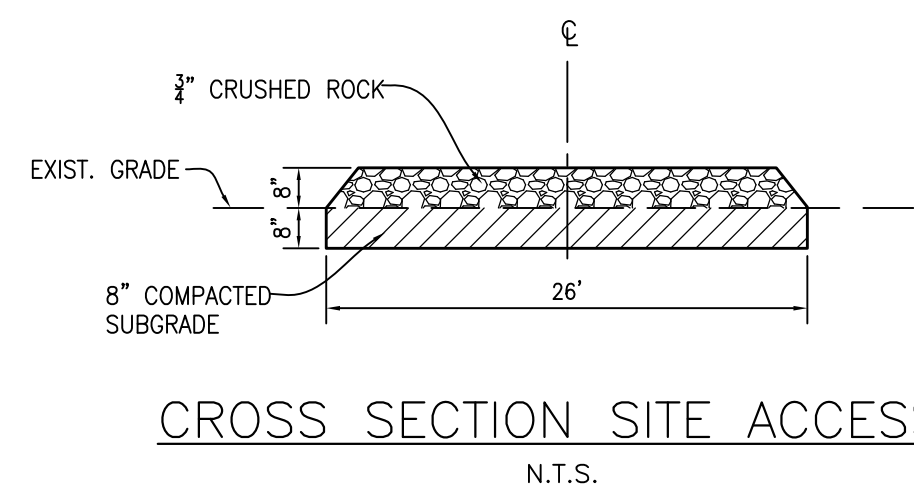
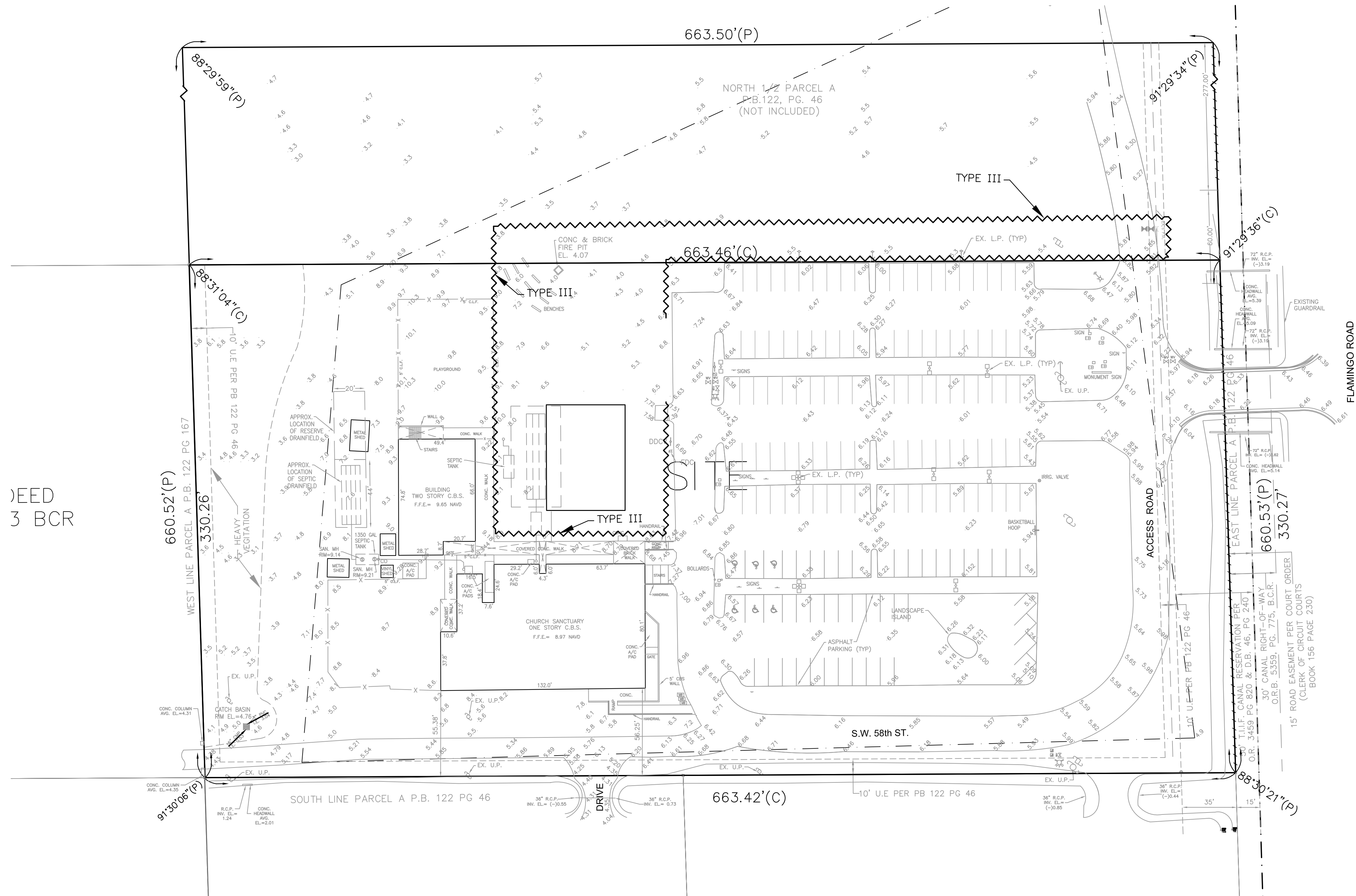
CHART 1  
RECOMMENDED SPACING FOR BALED HAY BARRIERS  
AND TYPE III SILT FENCE



### SILT FENCE APPLICATIONS

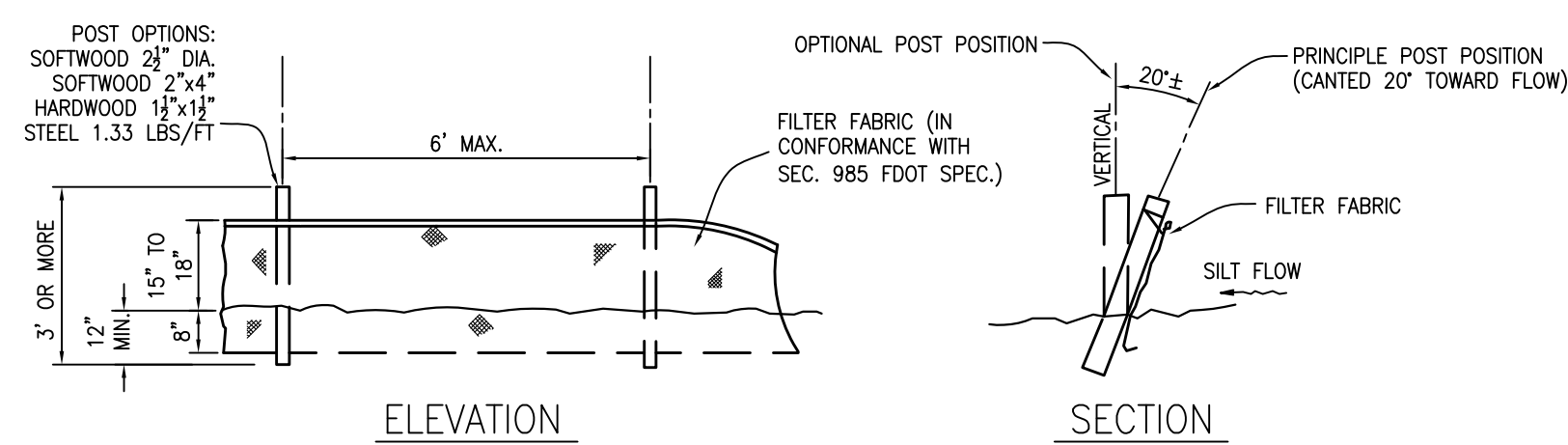
#### NOTES FOR SILT FENCES

1. TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS. WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1, SHEET 1.
2. TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 1:2 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 25 FEET. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR OFF THE RIGHT OF WAY.
3. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
4. WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.
5. SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE, (L.F.).

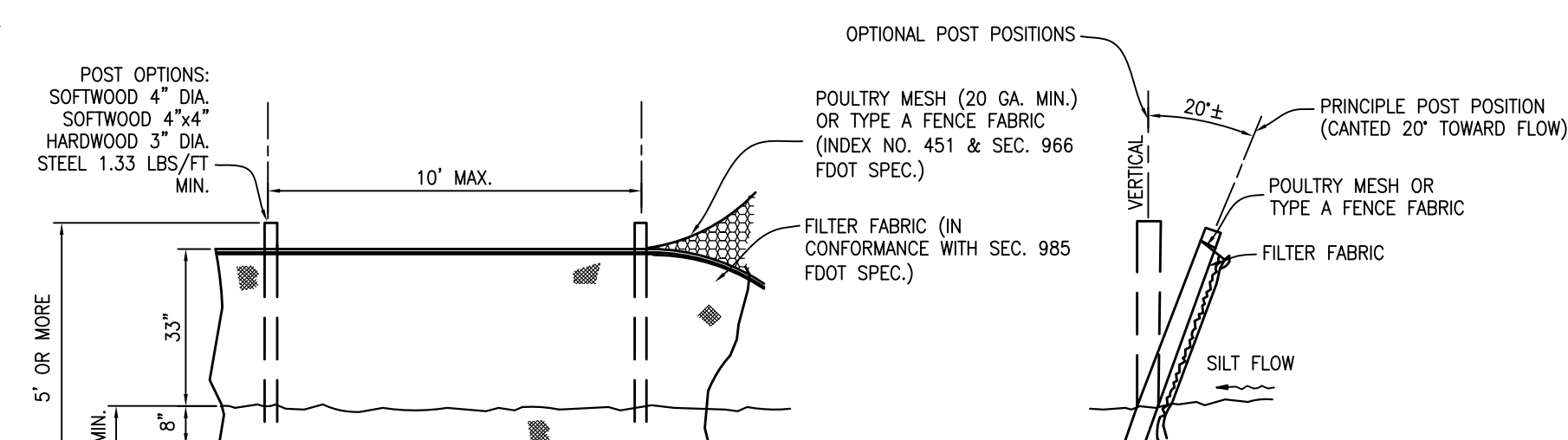


### CROSS SECTION SITE ACCESS

N.T.S.



### TYPE III SILT FENCE



### TYPE IV SILT FENCE

### POLLUTION/EROSION CONTROL DETAIL

SEE F.D.O.T. INDEX 102 SHEETS 1 & 3 OF 3

ENGINEER'S SEAL  
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ORIGINAL SIGNATURE



SHEET TITLE  
EROSION CONTROL PLAN

### REVISIONS

PILLAR CONSULTANTS, INC.

Consulting Engineers, Planners, Surveyors

5230 S. University Drive - Suite 104

Davie, Florida 33328

Phone: (954) 680-6533

P.E. # 39461

NEW HORIZON UNITED METHODIST  
CHURCH - MISSION BUILDING

SOUTHWEST RANCHES  
BROWARD COUNTY, FLORIDA

SCALE: 1"=40'

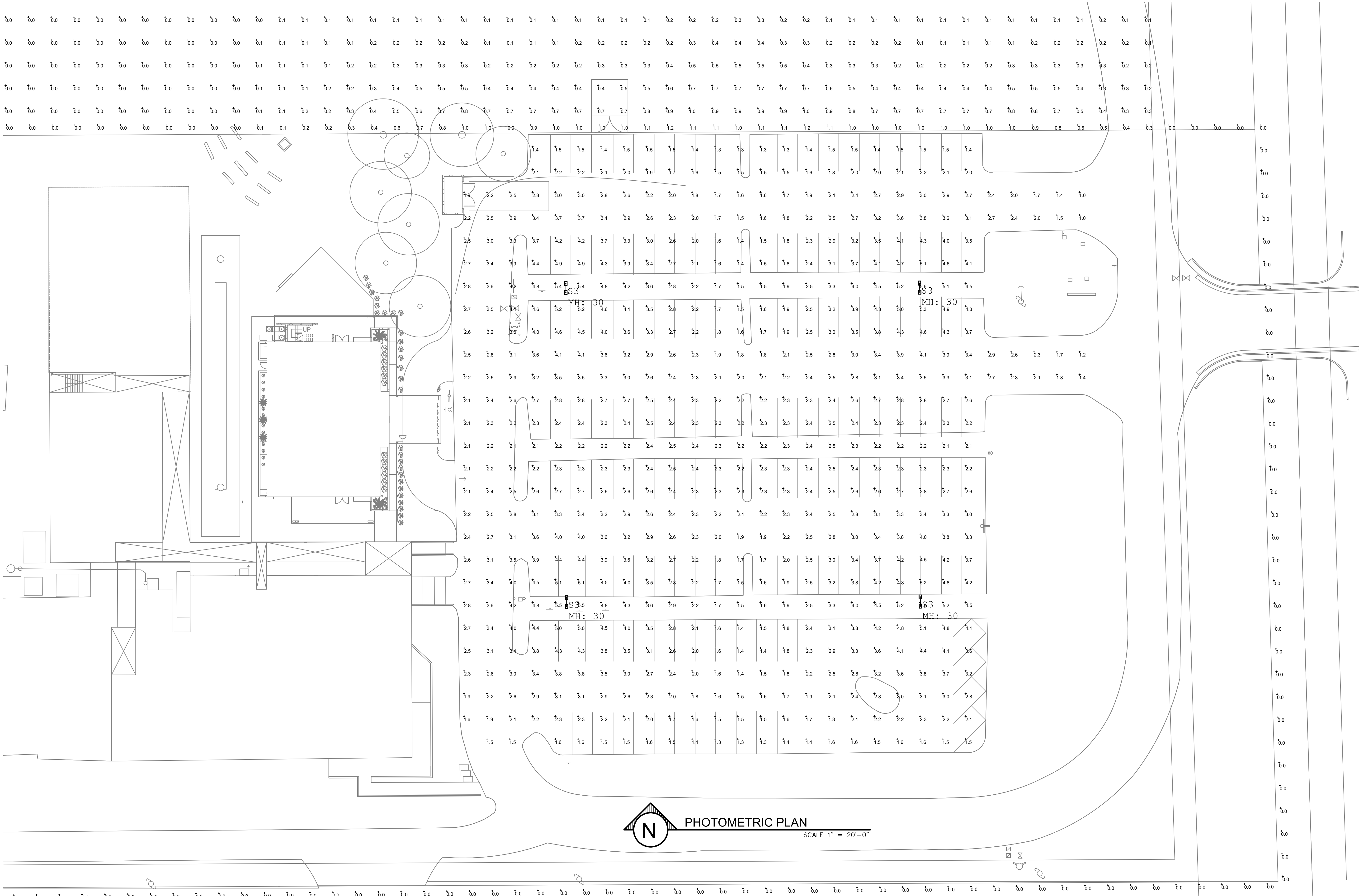
DATE: 05/24/18

DRAWN BY: JRW

SHEET No.

ER-1

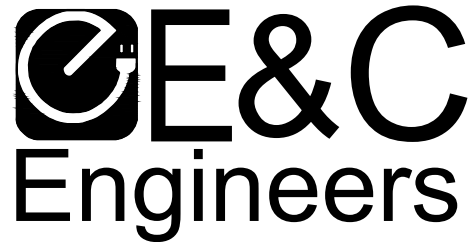
17032



PHOTOMETRIC PLAN  
SCALE 1" = 20'-0"

Luminaire Schedule					
Symbol	Qty	Label	Description	LLF	Lum. Lumens
	4	S3	XTRA LTG#: (2) VNTLEDL033005MNUIN510XXBZHO / MTD AT 30' AFG	0.900	33790

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT	Illuminance	Fc	2.75	5.6	1.0	2.75	5.60
PROPERTY LINE	Illuminance	Fc	0.16	1.2	0.0	N.A.	N.A.
SPILL LIGHT NORTH	Illuminance	Fc	0.11	1.0	0.0	N.A.	N.A.



E & C Engineers, Inc.  
Certificate of Auth. # 26558

Electrical Engineering  
Commercial, Industrial, Residential.  
Lighting Design, Automatic Controls

Eduardo (Ed) Samour, P.E.  
Registered Electrical Engineer  
P.E. # 41186  
117 Moorings Drive  
Lantana, FL 33462  
West Palm Beach, FL 33411  
Tel (561) 712 1149  
Fax (561) 712 1150

This Document has been prepared by or under direct supervision  
of the undersigned Registered Electrical Engineer

Signature Eduardo Samour, P.E.  
Date

NEW HORIZON  
UNITED METHODIST CHURCH

TOWN OF DAVIE  
BROWARD COUNTY  
FLORIDA

PHOTOMETRIC  
PLANS

Date	02.04.19
Scale	AS NOTED
Designed by	E. SAMOUR, P.E.
Drawn By:	
Project #:	19-3304

Revisions

Sheet

PHM-1





PROJECT INFORMATION

Project Name	Date
Catalog #	Type

VIENTO LARGE

AREA & SITE LED LUMINAIRE



FEATURES

- Outstanding photometric performance results in sites with excellent uniformity, optimal pole spacing and lower power density.
- Optics are completely sealed against moisture and environmental contaminants (IP66).
- Low profile architectural design offers a contemporary appearance with excellent light output.
- Field serviceable luminaire utilizing Lumileds LED technology.
- Controls ready luminaire for independent operation or remote management.
- Operating temperature -40°C to +40°C (-40°F to +104°F).

CONSTRUCTION

- Housing: One-piece die-cast aluminum has integral heat sink fins to optimize thermal management through conductive and convective cooling.
- The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life.
- Housing and door are protected with a thermoset TIGC-polyester powder coat finish using a tightly controlled multi-stage process to a uniform 3 mil thickness (min). This finish provides superior protection from corrosion and maximum environmental durability.
- Powder coat finish available in bronze, white or custom colors (consult factory).

MOUNTING

- Integral arm with key hole slot facilitates quick and easy installation.
- Nut plate eliminates loose hardware in the pole and reduces installation labor.

- APPLICATIONS
- Auto Dealership Sales Lots
  - Parking Lots
  - Educational/Business Campuses
  - Parks & Recreation Areas
  - Security Areas
  - Mail & Retail Spaces

- APPROVALS
- ETL listed. Complies with UL 1598 and CSA C22.2 No. 250.0-08 Suitable for wet locations.
  - 3G Vibration Rated for Bridge/Overpass Applications per ANSI C136.31-2010, Test Level 2.
  - IP 66 Optics and Housing.
  - Select models DLC Qualified. For a complete list of DLC Qualified products, please visit: [www.xtralight.com/dlc](http://www.xtralight.com/dlc) or [www.designlights.org/qpl](http://www.designlights.org/qpl)

PRODUCT PERFORMANCE

MODEL	LUMENS	EFFICACY
VNT- L 231 & 300*	Over 33000	Up to 116

\* For detailed information see page 2.

OPTICS

- Precision molded optics for superior uniformity, minimal light trespass and maximum pole spacing.
- Optical grade polymer is UV stabilized and impact resistant.
- IP66 rated LED light engines prevent dust and moisture from degrading performance.
- Distributions: Type II, Type III, Type IV and Type V, Types II, III, and IV available rotated right or left 90°, factory installed.
- Best in class Lumileds LEDs with 3000K, 4000K and 5000K CCT (min 70 CRI).
- Zero uplight (U0) is night sky friendly, reduces wasted light.
- Lumen Maintenance: >100,000hrs L70 @ 25°C (see page 3 for details).

ELECTRICAL

- Voltage: 120-277V 50/60Hz driver (standard); 347-480V 50/60Hz driver (optional).
- Class 2 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate.
- Surge Protection: 20kA standard.
- NEMA twist-lock receptacle available as an option.
- NOTE: Photocontrol or shorting cap required for operation (not included).
- Dimming: 0-10v dimmable driver available as an option.
- Occupancy (PIR) sensor available as an option.

WARRANTY

- 10-year limited warranty.



VNTLED-LARGE 101601  
www.xtralight.com • (800) 678-6960 • customerservice@xtralight.com  
All information is believed to be accurate at the time of publication. Please contact customer service or visit [www.xtralight.com](http://www.xtralight.com) for the most updated product specifications. XtraLight® reserves the right to change specifications without notice.

VIENTO LARGE

AREA & SITE LED LUMINAIRE

ORDER LOGIC

Sample part no.: VNT-LED-L-03-300-3M-N-UIN-4-20-X-X-BZ-HO

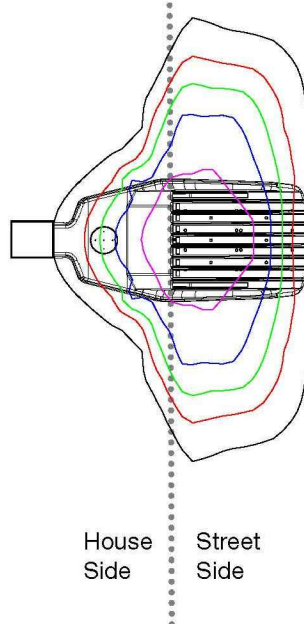
VNT LED	L	O3							HO
<b>Size &amp; Model</b> Contributions: VNT-LED-L-03-231 VNT-LED-L-03-300	<b>MODULES</b> 03	<b>OPTICS</b> 2M Type II Medium 2S Type I Short 3M Type III Medium 4S Type IV Short 5M Type V Square Medium	<b>DRIVER</b> UIN Multi-Volt 120-277V (S4) DIM Dimmable Multi-Volt 120-277V HMO 347-480V HMO* Dimmable 347-480V	<b>SURGE</b> 20 20kA/25kA (S4)	<b>MOUNT</b> X None A Angle Mount	<b>HIGH OUTPUT</b> HO			
<b>SIZE</b> L Large	<b>MODEL</b> 231* 300	<b>ORIENTATION</b> N Normal (Front) R1 Right L1 Left	<b>CCT</b> 3 3000K 4 4000K 5 5000K	<b>CONTROLS</b> X None (STD) 3* Total Lock Receptacle, 3 pin 5* Total Lock Receptacle, 5 pin 7* Total Lock Receptacle, 7 pin B* ESP-21 UL1480/1818/1700A D* ESP-21 UL1480/1818/1700A	<b>COLOR</b> BZ Bronze WH White Custom Colors (see available (consult factory))	<b>OPTIONS</b> HS* House Side Shield			

- Not available with 5M optics.
- Photocontrol not included.
- Requires 0-10V dimming driver (DIM) or (HMO) option.
- Model 231 not available with (DIM), (HMO), or (HMO).
- (HMO) drive options are not DLC listed.

Rotated Asymmetric Optics  
(Type II, Type III & Type IV)

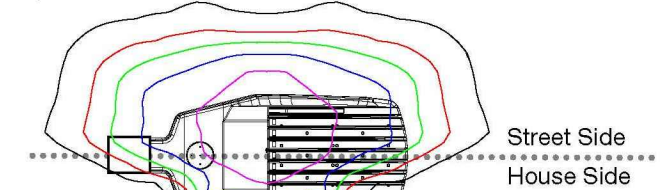
Normal (3MN)

Top View



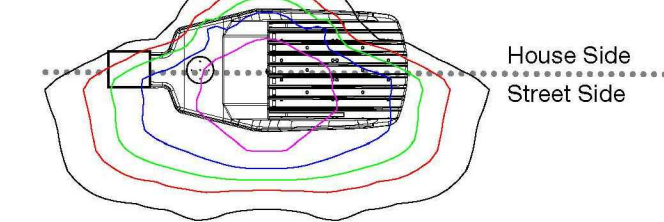
90° Left (3ML)

Top View

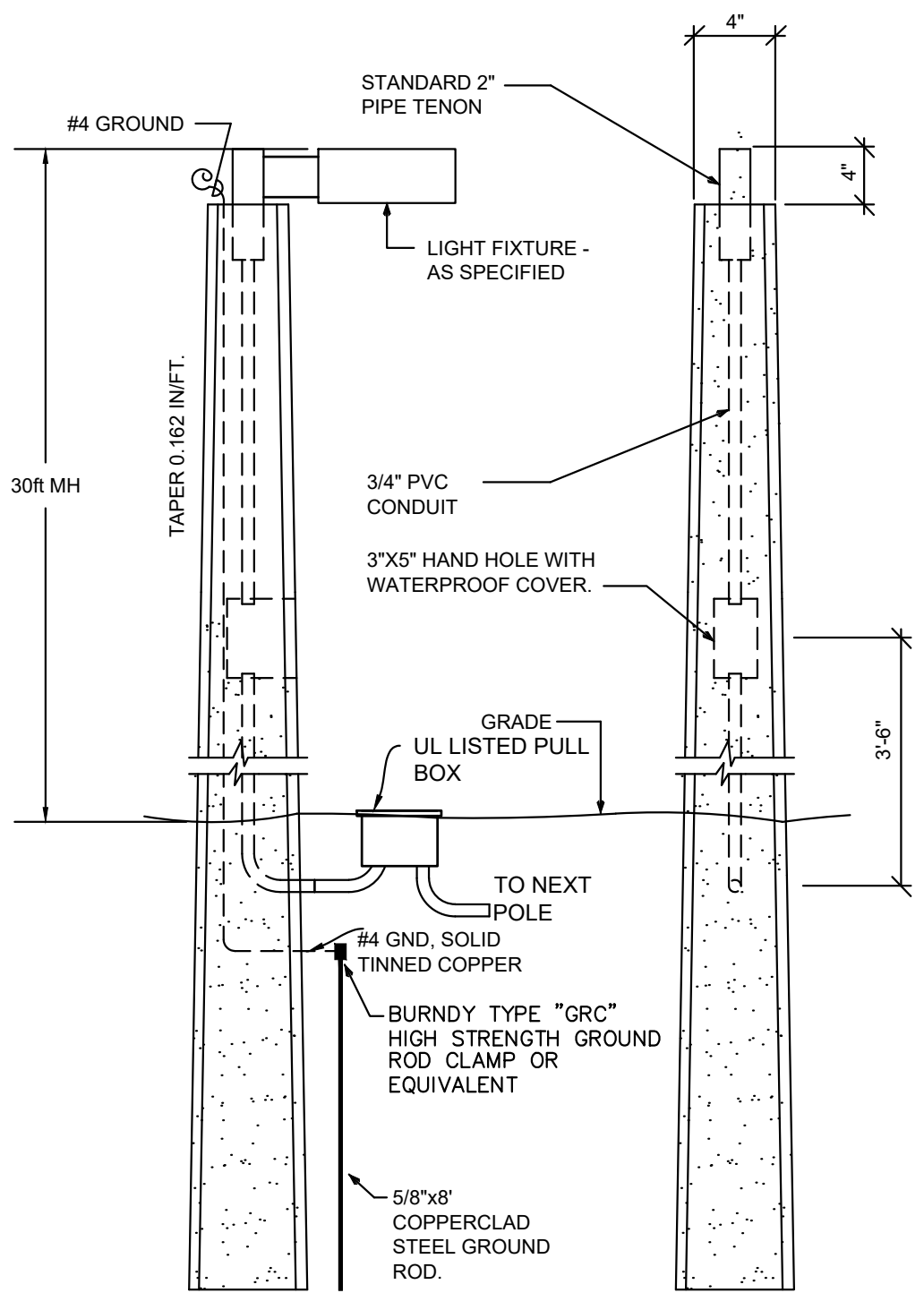


90° Right (3MR)

Top View



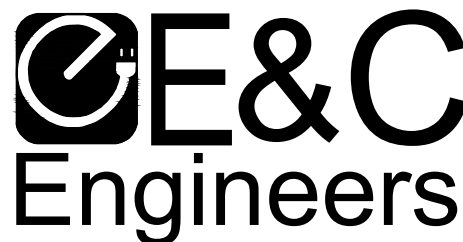
VNTLED-LARGE 101601  
www.xtralight.com • (800) 678-6960 • customerservice@xtralight.com  
All information is believed to be accurate at the time of publication. Please contact customer service or visit [www.xtralight.com](http://www.xtralight.com) for the most updated product specifications. XtraLight® reserves the right to change specifications without notice.



NOTE:  
THE POLE SUPPLIER SHALL CERTIFY THAT POLE WITH FIXTURE AS SPECIFIED WILL MEET 170 MPH WIND LOAD CRITERIA. PROVIDE SIGNED & SEALED CALCULATIONS BY A REGISTERED FLORIDA ENGINEER

CONCRETE POLE DETAIL

NOT TO SCALE



E & C Engineers, Inc.  
Certificate of Auth. # 26558

Electrical Engineering  
Commercial, Industrial, Residential.  
Lighting Design, Automatic Controls

Eduardo (Ed) Samour, P.E.  
Registered Electrical Engineer  
P.E. # 41186  
117 Moorings Drive  
Lantana, FL 33462  
West Palm Beach, FL 33411  
Tel. (561) 712 1149  
Fax (561) 712 1150

This Document has been prepared by or under direct supervision of the undersigned Registered Electrical Engineer

Signature Eduardo Samour, P.E. Date

NEW HORIZON  
UNITED METHODIST CHURCH

TOWN OF DAVIE  
BROWARD COUNTY  
FLORIDA

PHOTOMETRIC  
PLANS

Date 02.04.19  
Scale AS NOTED  
Designed by E. SAMOUR, P.E.  
Drawn By:  
Project #: 19-3304

Revisions





**Town of Southwest Ranches**  
**13400 Griffin Road**  
**Southwest Ranches, FL 33330-2628**

**(954) 434-0008 Town Hall**  
**(954) 434-1490 Fax**

**Town Council**  
**Doug McKay, Mayor**  
**Gary Jablonski, Vice Mayor**  
**Freddy Fisikelli, Council Member**  
**Bob Hartmann, Council Member**  
**Denise Schroeder, Council Member**

**Andrew D. Berns, Town Administrator**  
**Keith M. Poliakoff, JD, Town Attorney**  
**Russell Muniz, Assistant Town Administrator/Town Clerk**  
**Martin D. Sherwood, CPA, CGMA, CGFO, Town Financial Administrator**

## **COUNCIL MEMORANDUM**

**TO:** Honorable Mayor McKay and Town Council  
**VIA:** Andy Berns, Town Administrator  
**FROM:** Jeff Katims  
**DATE:** 2/20/2019  
**SUBJECT:** Resolution Approving Site Plan Modification for Sikh Society

---

### **Recommendation**

Approval, with conditions enumerated in the agenda report.

### **Unanimous Vote of the Town Council Required?**

Yes

### **Strategic Priorities**

- A. Sound Governance
- E. Cultivate a Vibrant Community

### **Background**

Sikh Society requests site plan modification for a one-story, 2,287 square-foot building addition to the northwest portion of the facility in the grassed area between the existing building and the parking lot.

The addition consolidates egress to the facility into a single entrance from the north side of the building, while creating a multimedia center/conference room, small study rooms and additional restroom.

### **Fiscal Impact/Analysis**

N/A

**Staff Contact:**

Jeff Katims, AICP, CNU-A

**ATTACHMENTS:**

Description	Upload Date	Type
Site Plan Modification Reso - TA Approved	4/3/2019	Resolution
Staff report	2/20/2019	Backup Material
Location Map	2/20/2019	Backup Material
Site Plan	2/20/2019	Backup Material
Site Plan (sheet #2)	2/20/2019	Backup Material
Site Plan (sheet #3)	2/20/2019	Backup Material
Mail Notice Radius Map	2/20/2019	Backup Material
Mail Notice List	2/20/2019	Backup Material

## **RESOLUTION NO. 2019-XXX**

**A RESOLUTION AND FINAL ORDER OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING APPLICATION NO. SP-71-18 BY THE SIKH SOCIETY OF FLORIDA, INC. TO AMEND ITS EXISTING SITE PLAN TO ADD AN ADDITIONAL 2,287 SQUARE FEET OF BUILDING AREA TO THE EXISTING FACILITY; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO EXECUTE ANY AND ALL DOCUMENTS NECESSARY TO EFFECTUATE THE INTENT OF THIS RESOLUTION; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the Sikh Society of Florida, Inc. is the current owner ("Owner") of property within Parcel "A" of Sikh Society Plat, as recorded in Plat Book 120, Page 9 of the Broward County, Florida Public Records, as well as the owner of Parcel A of Requejo Subdivision, as recorded in Plat Book 163, Page 14; and

**WHEREAS**, Petitioner requests modification of its existing approved site plan to erect a 2,287 square-foot building addition; and

**WHEREAS**, the Town Council of the Town of Southwest Ranches, Florida ("Town Council") finds that the proposed site plan amendment complies with the requirements of the Town's Unified Land Development Code ("ULDC").

### **NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:**

**Section 1.** That the foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution.

**Section 2.** That, upon reviewing the application, analysis of the Town Staff, testimony and the evidence submitted at a duly noticed public hearing held on April 11, 2019, the Town Council hereby approves Site Plan Modification Application No. SP-71-18, in accordance with the following stipulated conditions:

1. Prior to the issuance of a building permit, execute a Unity of Title Agreement in a form and format acceptable to the Town Attorney that unifies the title of the developed 1.67 acre parcel to the undeveloped 0.73 acre parcel. This agreement shall be recorded in the Broward County Public Records, and shall be binding on successors and assigns.
2. Prior to the issuance of a building permit, execute a Parking Agreement in a form and format acceptable to the Town Attorney that prohibits the use of more than

one assembly area at any one time. The agreement shall include provisions authorizing Town's un-noticed right of inspection to confirm compliance with the Agreement, enforcement, and recovery of Attorney's fees for any violation thereof. This agreement shall be recorded in the Broward County Public Records, and shall be binding on successors and assigns.

3. Prior to issuance of a certificate of occupancy, install an opaque, white vinyl fence 5 to 6 feet in height behind the existing shrub line along the Dykes Road frontage of the undeveloped parcel.
4. Prior to the issuance of a certificate of occupancy, restore the shrubs so as to create an opaque screen and plant Live Oaks behind the fence 30 feet on center. Continue this landscape treatment along SW 61 Court.
5. Prior to the issuance of a building permit, Petitioner shall submit all building and landscape plans to the Town for review and approval.
6. Comply with technical corrections to the site plan documents pursuant to the final Development Review Comments memorandum dated January 3, 2019.

**Section 3.** The Mayor, Town Administrator and Town Attorney are each authorized to execute any and all documents necessary to effectuate the intent of this Resolution.

**Section 4.** This Resolution shall become effective immediately upon adoption.

**[Signatures on Following Page]**



**PASSED AND ADOPTED** by the Town Council of the Town of Southwest

Ranches, Florida, this \_\_\_\_ day of \_\_\_\_\_, 2019, on a motion by

\_\_\_\_\_ and seconded by \_\_\_\_\_.

McKay \_\_\_\_\_  
Jablonski \_\_\_\_\_  
Fisikelli \_\_\_\_\_  
Hartman \_\_\_\_\_  
Schroeder \_\_\_\_\_

Ayes \_\_\_\_\_  
Nays \_\_\_\_\_  
Absent \_\_\_\_\_  
Abstaining \_\_\_\_\_

\_\_\_\_\_  
Doug McKay, Mayor

ATTEST:

\_\_\_\_\_  
Russell Muniz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

\_\_\_\_\_  
Keith Poliakoff, Town Attorney

34725117.1

**TOWN OF SOUTHWEST RANCHES  
TOWN COUNCIL AGENDA REPORT**

**DATE:** February 13, 2019

**SUBJECT:** Site Plan Modification Application SP-71-18; Sikh Society of Florida, Inc.

**ADDRESS:** 16000 SW 60<sup>th</sup> Street, Southwest Ranches, FL

**LOCATION:** The southwest corner of the intersection of Dykes Road and Stirling Road

**ZONING:** CF, Community Facility (developed parcel)  
RE, Rural Estate (undeveloped parcel)

**LAND USE PLAN  
DESIGNATION:** Rural Estates

**PETITIONER:** Sikh Society of Florida, Inc.

**OWNER:** Sikh Society of Florida, Inc.

**REQUEST:** Site plan modification for a 2,287 SF addition to the existing 9,800 SF building to the existing 62-space parking lot on the north side of the temple building.

**EXHIBITS:** Staff Report, Aerial Photograph, Site Plan, and Mail Notification Radius Map and Mailing List.

**BACKGROUND**

The Sikh Society of Florida, Inc. ("Petitioner") owns approximately 2.4 net acres at the southwest corner of Stirling and Dykes roads, of which 1.674 net acres are zoned Community Facility (CF) and developed with two single-story buildings connected by a covered breezeway that total approximately 11,550 square feet under roof and 9,800 square feet of enclosed building area. The remaining 0.73 net acre is zoned Rural Estates (RE) and is not developed, and is not proposed for development. The developed parcel comprises the Sikh Society Plat, which is not restricted as to floor area.

## **SITE PLAN MODIFICATION REQUEST**

The Petitioner requests modification of the Sikh Society Site Plan for a one-story, 2,287 square-foot building addition to the northwest portion of the facility in the grassed area between the existing building and the parking lot. The application states that initial concept entailed walling-off the two open sides of the breezeway to create a single facility entrance to address security concerns about the large number of outside entrances into the facility. The concept evolved into a roofed addition that consolidates egress to the facility into a single entrance from the north side of the building, while creating a multimedia center/conference room, small study rooms and additional restroom.

The existing facility contains a 2,681 square-foot worship area, 2,758 multi-use/dining room, 1,300 square-foot priest's residence, and ancillary facilities. The Town's Unified Land Development Code requires one parking space for each 50 square feet of assembly area with non-fixed seating, and 2 parking spaces for the priest's residence, resulting in a requirement for 111 parking spaces. The addition would add 2,158 square feet of assembly area and a separate 129 square-foot bathroom, increasing the parking requirement to 152 parking spaces.

The existing parking facility has 62 paved parking spaces based upon the standards in the county's zoning regulations when the facility was constructed, prior to the Town's incorporation. The county's parking requirement was based only upon only the capacity of the largest of the assembly rooms, exclusive of other assembly areas, under the assumption that the various assembly facilities would not be utilized simultaneously.

The Town's parking regulations allow a facility to base its required parking on only the largest of the assembly areas provided that the owner enters into an enforceable agreement with the Town to limit its use of the facilities to only one assembly area at any given time. Petitioner has agreed to enter into an enforceable agreement with the Town, stipulating that the multimedia/conference room addition will not be used simultaneously with the worship area or multi-use/dining room, and furthermore that only one assembly areas may be used at any one time. Based upon the noncurrent use of the facilities, additional parking spaces would not be required under the Unified Land Development Code. It is also noted that the Petitioner uses the grassed area on its property located east of the buildings for overflow parking to substantially supplement the number of cars that the facility can accommodate.

The proposed addition complies with setback, plot coverage, impervious area and floor area ratio (F.A.R.) requirements as follows: proposed setback to west and north property lines are 50 feet and more than 100 feet respectively, where 50 feet is required; proposed plot coverage of 13.2 percent where 20 percent is the maximum allowed; proposed impervious area of 35.2 percent where 60 percent is the maximum

allowed; and, F.A.R. of 0.12 where .25 is the maximum allowed. The height of the proposed addition will measure 25 feet to its highest point, whereas 35 feet measured to the midline of the roof is allowed.

The proposed addition will not displace any trees, and the site complies with landscaping requirements. SBDD and the Town Engineer have approved the site drainage subject to the Petitioner obtaining a Town Paving, Grading and Drainage Permit and SBDD Paving and Drainage Permit. Finally, the Fire Marshal has determined the Site Plan Modification to be acceptable.

### **STAFF RECOMMENDATION:**

Staff finds that the proposed addition complies with the requirements of the Unified Land Development Code subject to the following conditions that must be met prior to issuance of a building permit:

1. Execute a Unity of Title Agreement in a form acceptable to the Town Attorney that unifies the title of the developed 1.67 acre parcel and undeveloped .73 acre parcel. This agreement shall be recorded in the Broward County Public Records.
2. Execute a Parking Agreement in a form acceptable to the Town Attorney that prohibits the use of more than one assembly area at any one time. The agreement shall include provisions authorizing Town's right of inspection to confirm compliance with the agreement, enforcement, and recovery of Attorney's fees in favor of the Town.
3. Install an opaque, white vinyl fence 5 to 6 feet in height behind the existing shrub line along the Dykes Road frontage of the undeveloped parcel.
4. Restore the shrubs so as to create an opaque screen and plant Live Oaks behind the fence 30 feet on center. Continue this landscape treatment along SW 61 Court. This condition first requires that Petitioner submits building and landscape plans to the Town and obtains all required approvals and permits.
5. Comply with technical corrections to the site plan documents pursuant to the final Development Review Comments memorandum dated January 3, 2019.

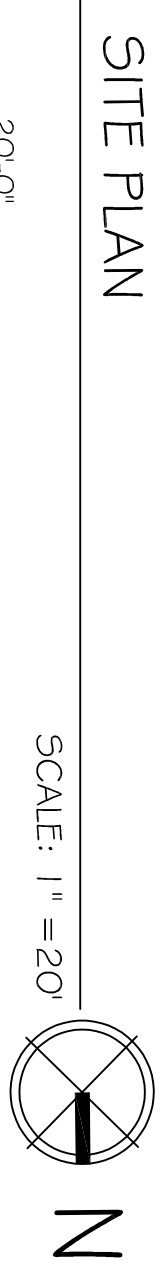


Subject Site | 16000 SW 60th Street  
Southwest Ranches Boundary

**Aerial | Sikh Society of Florida, Inc.**  
**16000 SW 60th Street**



RESIDENTIAL ACREAGE  
TRACT 2, FLORIDA FRUIT LANDS  
COMPANY SUBDIVISION NO.1 (PB: 2 – PG: 17 MIAMI-DADE)



1234 N.E. 88th Street  
Miami, Florida 33138  
(305) 710-5772  
JpJoseph@aol.com

architect  
Jose S. Pelaez  
Architect P.A.  
P.O. Box 133176  
JSP 1658

REVISIONS:
<div style="border: 1px solid black; padding: 2px; display: inline-block;">1</div>
DATE:

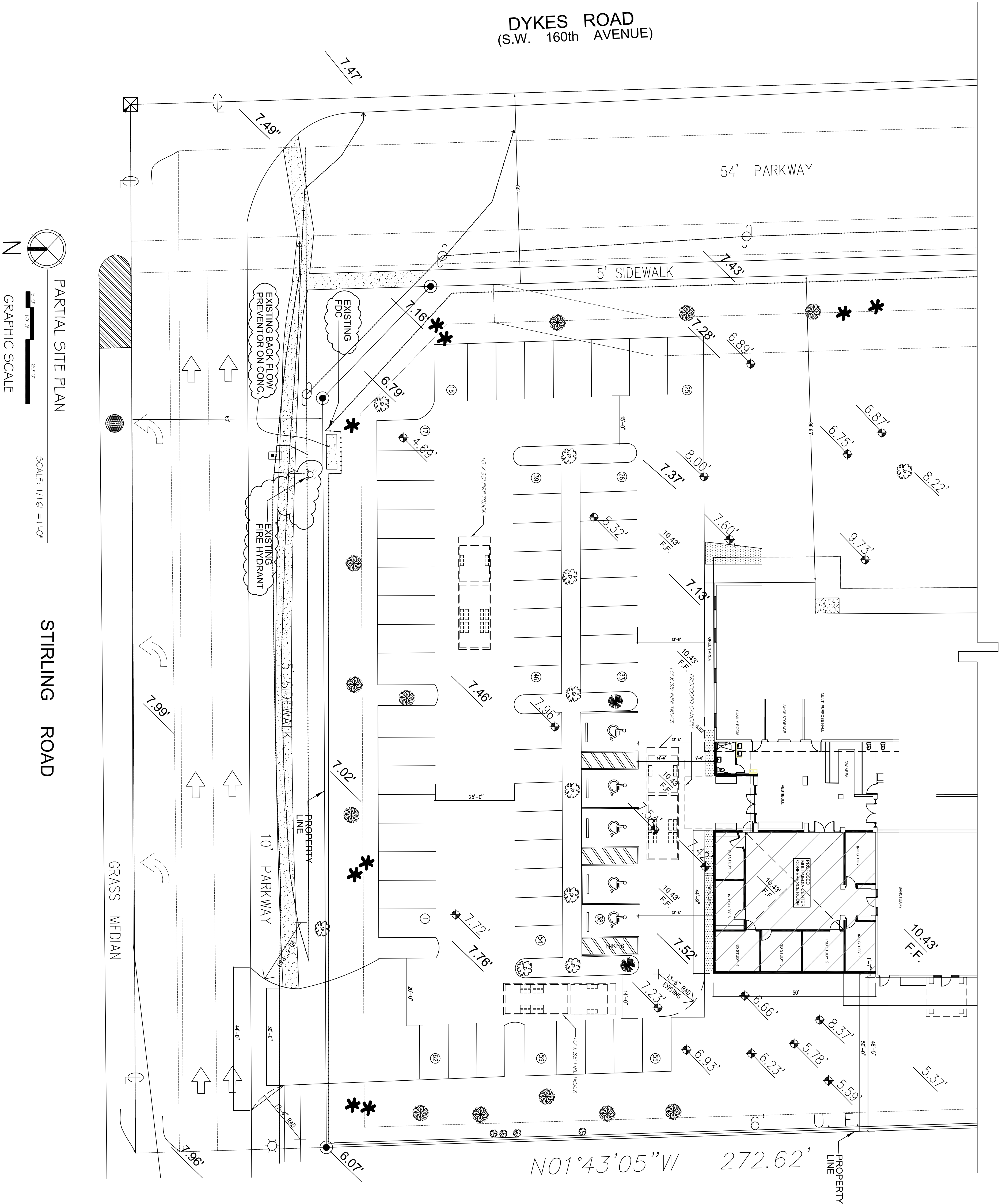
SEAL: STATE OF FLORIDA  
JOSE S PELAYO  
REGISTERED ARCHITECT  
AR13176  
ID4658

SHEET:  
A-1  
OF 3



LAND USE	
SANCTUARY .....	2,681 SF.
BREEZEWAY .....	580 SF.
RESTROOMS .....	600 SF.
PREST RESIDENCE .....	1,300 SF.
KITCHEN/STORAGE .....	1,717 SF.
DINING ROOM .....	2,758 SF.
EXISTING BUILDING .....	+/- 10,412 SF.
NEW MULTIMEDIA CENTER (INCLUDES RESTROOM).....	2,287 SF.
TOTAL BUILDING AREA (EXISTG. AND PROPOSED).....	+/- 12,699 SF.
EXISTING OVERHANG AREA .....	(2,000 SF.) > +/- 1,146 SF.
PROPOSED LOT COVERAGE .....	18%
TOTAL IMPERVIOUS AREA:	
EXISTING PAVING (PARKING LOT) 20,400 SF.	23,018 SF. .... 31%
EXISTING WALKS .....	
NEW WALKS .....	400 SF.
LANDSCAPING .....	37,224 SF.
NET AREA (NORTH LOT ONLY).....	72,941 SF. 1,674 ACRES
RW AREA .....	36,729 SF.
NET AREA (SOUTH LOT ONLY) .....	41,622 SF. 73 ACRES
DYKES RW AREA .....	13,131 SF.
PARKING REQUIRED SANCTUARY 2,025 SF. 1/50 SF.	41 SPACES
PARKING REQUIRED NEW MULTIMEDIA 2,237 SF. 1/50 SF.	45 SPACES
EXISTING PARKING AT NORTH LOT .....	62 SPACES
TOTAL .....	62 SPACES
SEATING OCCUPANCY	
SANCTUARY 2,681 SF. ....	150 PEOPLE
KITCHEN/STORAGE 1,717 SF. ....	5 PEOPLE
DINING ROOM 2,758 SF. ....	106 PEOPLE
TOTAL .....	261 PERSONS

DYKES ROAD  
(S.W. 160th AVENUE)



SHEET:  
A-2  
OF 3

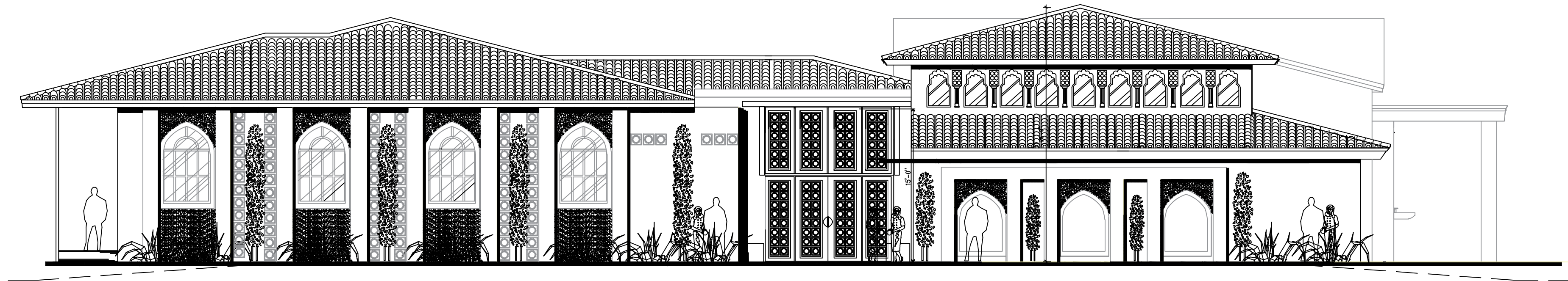
SEAL:  
STATE OF FLORIDA  
JOSE S. PELAYO  
REGISTERED ARCHITECT  
AR13176  
104658

PROJECT NAME : PROPOSED ADDITION AND REMODELING FOR:  
OWNER : SIKH SOCIETY OF FLORIDA  
ADDRESS: 16000 STIRLING RD. SOUTHWEST RANCHES, FLORIDA

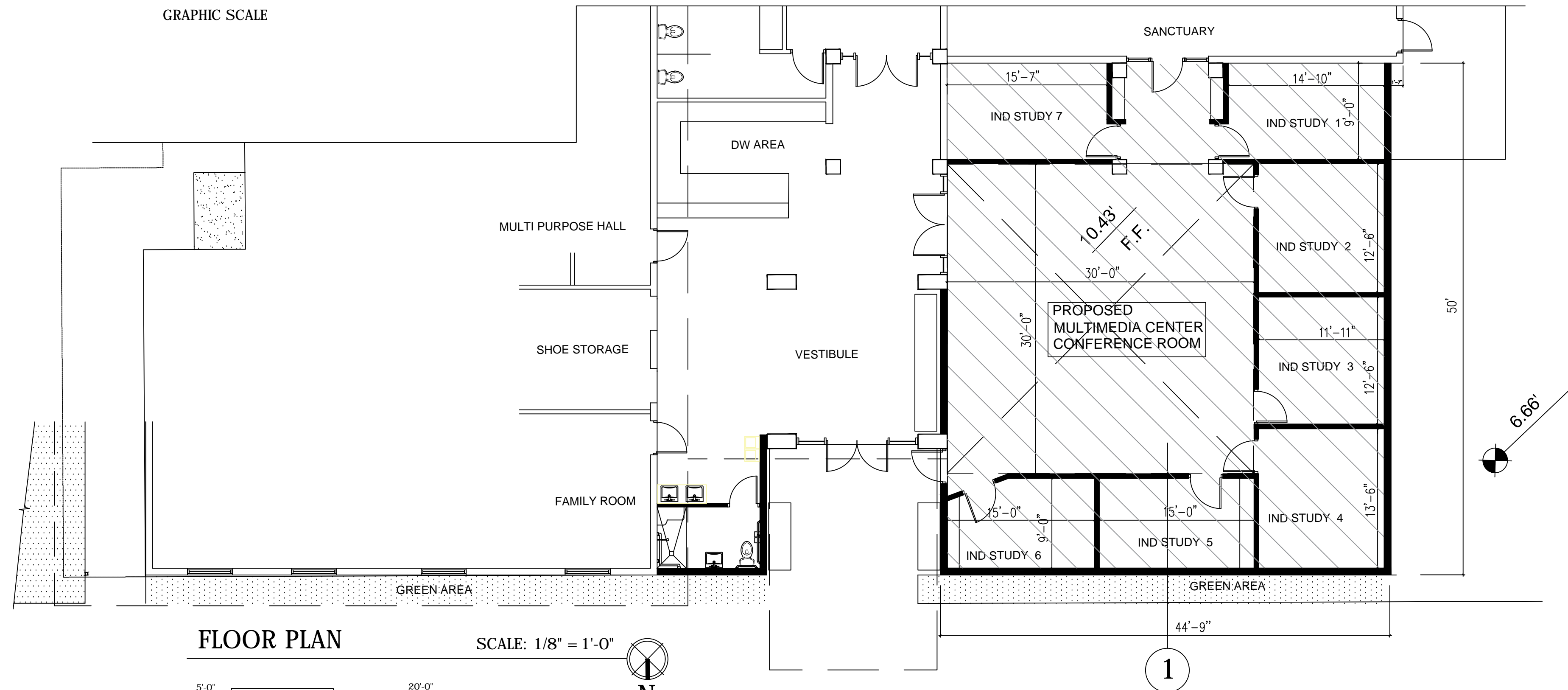
2021-11-16, with Street  
Miami, Florida 33148  
(305) 441-1772  
J. Pelayo  
Project  
J. Pelayo  
J. Pelayo  
J. Pelayo

REVISIONS:  
DATE:

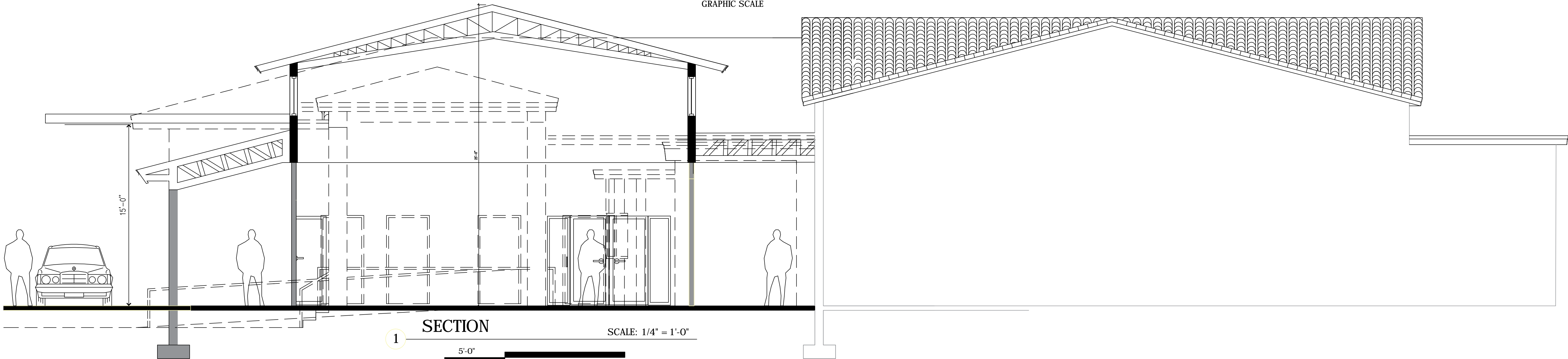
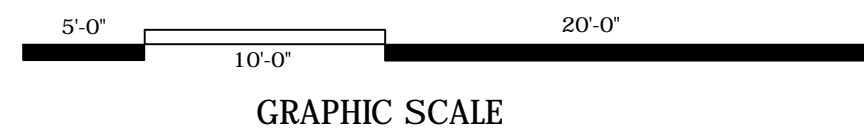




NORTH FRONT ELEVATION SCALE: 1/8" = 1'-0"



FLOOR PLAN SCALE: 1/8" = 1'-0"



SECTION SCALE: 1/4" = 1'-0"



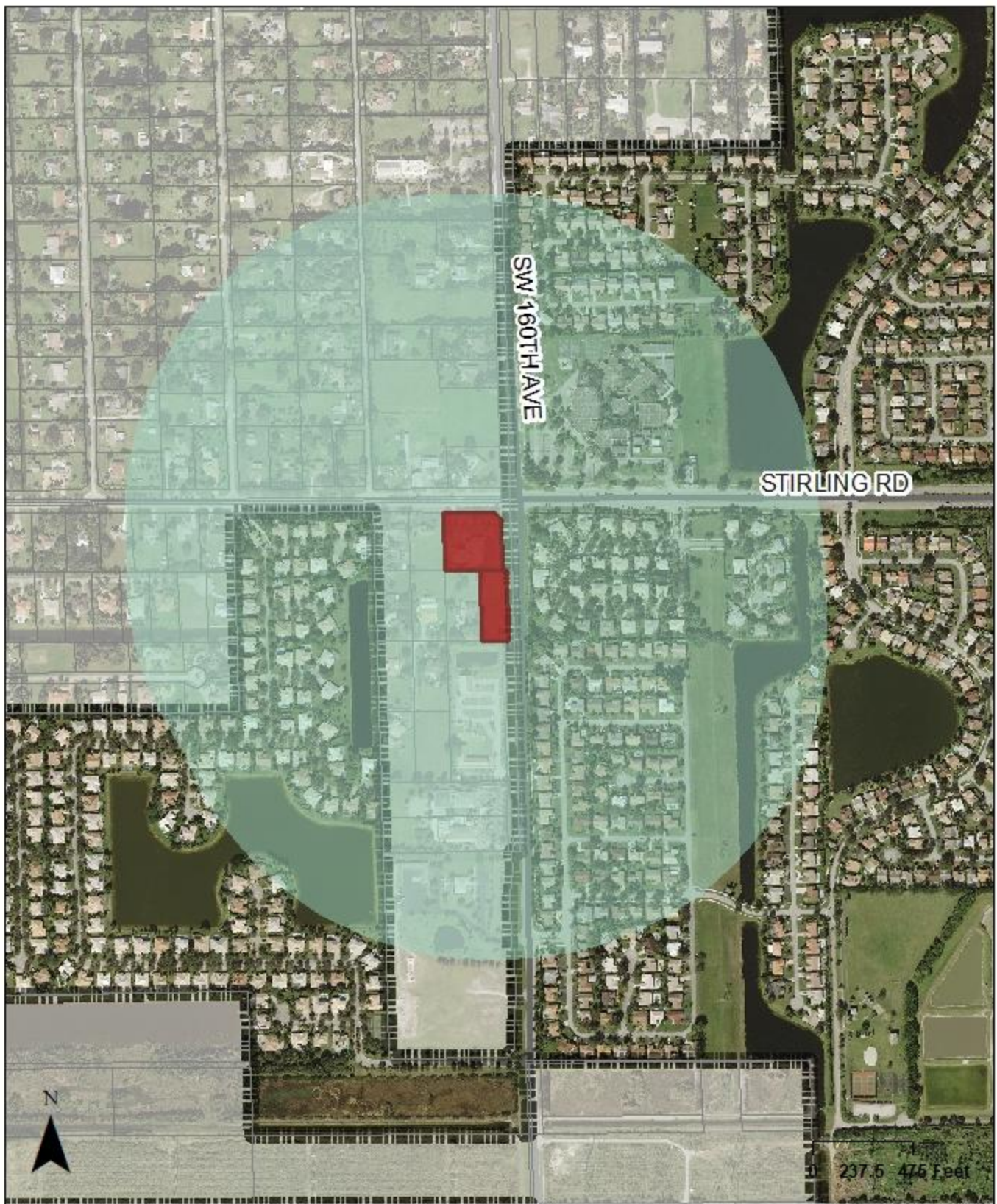
GRAPHIC SCALE

REVISIONS:  
DATE:

PROJECT NAME : PROPOSED ADDITION AND REMODELING FOR:  
OWNER : SIKH SOCIETY OF FLORIDA  
ADDRESS: 16000 STIRLING RD. SOUTHWEST RANCHES, FLORIDA

SEAL: STATE OF FLORIDA  
JOSE S. PELAYO  
REGISTERED ARCHITECT  
ARTIST'S ID# 4858  
SHEET: A-3 OF 3





-  Subject Site | 16000 SW 60th Street
-  1,500 Ft Notice Area
-  Southwest Ranches Boundary

**Location Map | Sikh Society of Florida, Inc.**  
**16000 SW 60th Street**



ROLL.FOLIC	BCPA TAX ROLL.NAME_LINE_1	BCPA TAX ROLL.NAME_LINE_2
504032040022	VISBAL,JAIME A & MARGARITA	
504032040143	DONOFRIO,LYNDA M	
514005131490	AZEEM,ANTHONY & RASHEEDA ALI	
504032040140	JEVREMOVIC,ALBERT LE	ALBERT JEVREMOVIC REV TR
514005131570	ROMERO,DALCY H/E	ROMERO,FAUSO
514005250090	RODRIGUEZ,LUIS JR &	LAVAN,ELLEN M
514005131480	FARAHMAND,SHABNAM	FARAHMAND,RAMIN ETAL
504032040154	ARBAS,PEDROS E & LIZETTE M	
504032040144	ALFONSO,EVELIO & VICTORIA	
504032040145	CHARLIP,DAVID &	ST LAWRENCE,SYLVIA
504032040128	RATHGEB,THEROLD JOHN JR	
504032040067	TORRON,REINALDO & RANDY R	
504032040147	AMADOR,DAVID & MORELLA	
514005220010	LEVINE,SUSAN	
504032040019	CHAPLES,W E & MARYGAY LE	WILLIAM E & M CHAPLES REV TR
514005040030	MORRINA,CARMEN	MORRINA,LUIS J
504032040151	MORRIS,R & LISA	
514005131510	POPLIN,LISA R	LISA R POPLIN REV TR
504032040150	DELPHUS,ROBERT A	
504032040168	HOBSON-GARCIA,KIRK	KOLDYS,ANNA
514005250080	PERRY,ROSS D & TANA D	
514005131580	BURCK,CLARA	
514005030010	NEW HOPE INC IN	SOUTHWEST RANCHES
514005040010	6131 SW RANCHES LLC	
504032040162	PADRON,ROBERTO & RUTH E	
514005010019	LINARES,RIDEL & MILAGROS	
514005070010	PARK,DAVID & ROSEMARY	
504032050060	BRUNO,PAULETTE M H/E	WITHROW,MICHAEL JOHN
514005130050	GONZALEZ,SANTIAGO & JESIKA	
514005010037	KNAPP,ROBERT	ROJAS-KNAPP,ISABEL
514005220020	LEVINE,SUSAN	
504032040160	ADAMS,FLOYD R & BARBARA A	
504032040062	LORENZO,RICARDO & BLANCA	
504032040163	DUDGEON,BRUCE G	LITTLE,JANETTE
504032050080	NEUNZIG,BARRY J & CINDY L	
504032050050	HUGHES,CLYDE T H/E	PUTNAM,CHRISTINE
504032140010	SHIVA VISHNU TEMPLE	OF SOUTH FLORIDA INC
504032040164	MARONAS,FRANCISCO J & IDALMIS P	
504032040152	CHARLES,THOMAS A	
514005131520	BENEDIT,VIRGILO J & JACQUELINE	
514005230010	SIKH SOCIETY OF FLORIDA INC	
504032050440	RIVERO,JORGE H JR	
504032050420	MCFARLAND,DAVID B & KATHLEEN M	
504032040141	GEHMAN,ARLAN E & LINDA S	
514005131550	ESPAGNOL,DIEGO P & ANNAMARIA C	
514005040020	MORA,JOSE & MARITZA	
514005010176	GALLEGOS,PORFIRO R & MARIA LE	GALLEGOS FAM REV LIV TR
514005131540	STRAUSS,DAVID H & LORI GALANTE	
504032040068	GERMAN,VADIM	
504032040165	GATTO,CLAUDIO & INGRID	
514005131560	ELOSEGUI,MARCOS & MAURA	
504032040018	WILLIAM E & M CHAPLES REV TR	CHAPLES,W E & MARYGAY LE TRST
504032050430	CADWALLADER,DIANE J & JOHN O	
504032050070	BURGS,RONALD & BARBARA	
514005050010	DE LA FE,GUSTAVO & ONIX	DE LA FE,MATHEW
514005010039	KIDD,MICHAEL A H/E	KIDD,TORI L
504032040161	RIVERA,KARYN F	
504032040051	DYKES,ROBERT M	DYKES,CAROL A
504032040019	DYKES FAM REV LIV TR	% CAROL DYKES
514005040040	MORRINA,LUIS J & MARIA VICTORIA	

<b>BCPA TAX ROLL.ADDRESS_LINE_1</b>	<b>BCPA TAX ROLL.CITY</b>	<b>_FAX_ROLL.ZIP</b>
5881 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
5841 SW 163 AVE	SOUTHWEST RANCHES	FL 33331
16361 ONTARIO PL	DAVIE	FL 33331
16321 STIRLING RD	SOUTHWEST RANCHES	FL 33331
6101 SUPERIOR BLVD	DAVIE	FL 33331
15911 SEDGEWYCK CIR N	SOUTHWEST RANCHES	FL 33331
16381 ONTARIO PL	DAVIE	FL 33331
16301 STIRLING ROAD	FORT LAUDERDALE	FL 33331
16301 STIRLING ROAD	SOUTHWEST RANCHES	FL 33331
5851 SW 163 AVE	SOUTHWEST RANCHES	FL 33331
5721 SW 162 AVE	SOUTHWEST RANCHES	FL 33331
5730 SW 163 AVE	SOUTHWEST RANCHES	FL 33331
2640 SW 62 AVE	MIAMI	FL 33155
6301 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
5901 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
7030 W 12 LN	HIALEAH	FL 33014
5750 SW 163RD AVE	SOUTHWEST RANCHES	FL 33331
16321 ONTARIO PL	DAVIE	FL 33331
16291 STIRLING RD	SOUTHWEST RANCHES	FL 33331
16201 STIRLING ROAD	SOUTHWEST RANCHES	FL 33331
4077 HOLLY CT	WESTON	FL 33331
6081 SUPERIOR BLVD	DAVIE	FL 33331
6201 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
5722 S FLAMINGO RD #176	COOPER CITY	FL 33330
5831 SW 162ND AVE	SOUTHWEST RANCHES	FL 33331
16110 STIRLING ROAD	SOUTHWEST RANCHES	FL 33331
16040 SW 60 ST	SOUTHWEST RANCHES	FL 33331
16360 STIRLING RD	SOUTHWEST RANCHES	FL 33331
16200 ONEIDA PL	DAVIE	FL 33331
16540 SW 62 ST	SOUTHWEST RANCHES	FL 33331
6301 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
16231 SW 60 ST	SOUTHWEST RANCHES	FL 33331
5785 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
5731 SW 162 AVE	SOUTHWEST RANCHES	FL 33331
16300 STIRLING ROAD	SOUTHWEST RANCHES	FL 33331
16400 STIRLING ROAD	SOUTHWEST RANCHES	FL 33331
5661 DYKES ROAD	SOUTHWEST RANCHES	FL 33331
5741 SW 162 AVE	SOUTHWEST RANCHES	FL 33331
5740 SW 163RD AVE	SOUTHWEST RANCHES	FL 33331
19031 NW 12 ST	PEMBROKE PINES	FL 33029
16000 STIRLING ROAD	SOUTHWEST RANCHES	FL 33331
5820 SW 164 TER	SOUTHWEST RANCHES	FL 33331
5910 SW 164TH TER	SOUTHWEST RANCHES	FL 33331
5801 SW 163RD AVE	SOUTHWEST RANCHES	FL 33331
6141 SUPERIOR BLVD	DAVIE	FL 33331
16040 SW 61ST CT	SOUTHWEST RANCHES	FL 33331
16541 SW 62 ST	SOUTHWEST RANCHES	FL 33331
6161 SUPERIOR BLVD	DAVIE	FL 33331
5901 SW 162 AVE	SOUTHWEST RANCHES	FL 33331
5841 SW 162 AVE	SOUTHWEST RANCHES	FL 33331
6121 SUPERIOR BLVD	DAVIE	FL 33331
5901 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
5900 SW 164 TER	SOUTHWEST RANCHES	FL 33331
16310 STIRLING ROAD	SOUTHWEST RANCHES	FL 33331
16041 SW 61 CT	SOUTHWEST RANCHES	FL 33331
16301 SW 62 ST	SOUTHWEST RANCHES	FL 33331
5821 SW 162 AVE	SOUTHWEST RANCHES	FL 33331
5745 DYKES ROAD	SOUTHWEST RANCHES	FL 33331
241 SW 5 CT	POMPANO BEACH	FL 33060
6211 SW 161ST AVE	SOUTHWEST RANCHES	FL 33331

514005010010	DUFFY,SEAN	DUFFY,SUZANNE
504032050410	AUTORE,FRANK J JR & SILVIA D	
514005010177	KORNBLUTH,STEVEN M	
504032040155	GONZALEZ,CARL	CARL GONZALEZ REV TR
514005250070	ESFANDIARI,JAY	
504032040146	MATTHEWS,J M & VIRGINIA A	
514005131500	BROWN,BARRY J	
504032040153	MORRISON,LYNN	
514005160010	SOUTH BROWARD DRAINAGE DISTRICT	
514005250060	WALTEROS,MARIA INES	
514005131530	TONKIN,ELIZABETH A	
504032040066	OLIVERA,REINALDO J &	OLIVERA,ISABEL M
504032040061	RYAN,PATRICK J & BARBARA K	
514005010024	COTILLA,F J & BERTHA L	
514005020010	SIKH SOCIETY OF FLORIDA INC	
514005131680	ESTATES OF STIRLING LAKE HMWN % MIAMI MANAGEMENT INC.	



16111 SW 61 CT	SOUTHWEST RANCHES	FL 33331
5920 SW 164 TER	SOUTHWEST RANCHES	FL 33331
16500 SW 62 ST	SOUTHWEST RANCHES	FL 33331
16261 STIRLING RD	SOUTHWEST RANCHES	FL 33331
16460 SW 61 ST	SOUTHWEST RANCHES	FL 33331
5821 SW 163RD AVE	SOUTHWEST RANCHES	FL 33331
16341 ONTARIO PL	DAVIE	FL 33331
421 NW 93 AVE	PEMBROKE PINES	FL 33024
6591 SW 160 AVE	SOUTHWEST RANCHES	FL 33331
16480 SW 61 ST	SOUTHWEST RANCHES	FL 33331
6181 SUPERIOR BLVD	DAVIE	FL 33331
5900 SW 163 AVE	SOUTHWEST RANCHES	FL 33331
5830 SW 162ND AVE	SOUTHWEST RANCHES	FL 33331
1333 NE 28 AVENUE	POMPANO BEACH	FL 33062
16000 SW 60 ST	SOUTHWEST RANCHES	FL 33331
1145 SAWGRASS CORPORATE PKW	SUNRISE	FL 33323



**Town of Southwest Ranches**  
**13400 Griffin Road**  
**Southwest Ranches, FL 33330-2628**

**(954) 434-0008 Town Hall**  
**(954) 434-1490 Fax**

**Town Council**  
**Doug McKay, Mayor**  
**Gary Jablonski, Vice Mayor**  
**Freddy Fisikelli, Council Member**  
**Bob Hartmann, Council Member**  
**Denise Schroeder, Council Member**

**Andrew D. Berns, Town Administrator**  
**Keith M. Poliakoff, JD, Town Attorney**  
**Russell Muniz, Assistant Town Administrator/Town Clerk**  
**Martin D. Sherwood, CPA, CGMA, CGFO, Town Financial Administrator**

### **COUNCIL MEMORANDUM**

**TO:** Honorable Mayor McKay and Town Council  
**VIA:** Andrew D. Berns, Town Administrator  
**FROM:** Keith Poliakoff, Town Attorney  
**DATE:** 4/11/2019  
**SUBJECT:** Zoning In Progresss - Nurseries

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#### **Recommendation**

Town Council consideration for a motion to approve the resolution.

#### **Unanimous Vote of the Town Council Required?**

No

#### **Strategic Priorities**

A. Sound Governance

#### **Background**

As vacant lands become scarce in Broward County, more and more nursery operators are looking to open commercial nursery operations within the Town. Although the Town prides itself on being rural, commercial nursery operations have been popping up in the middle of residential communities, without any regard to access or minimum lot size requirements.

The commercial traffic generated by these nurseries are causing damage to the Town's rural roadway network, and creating unsafe conditions. As a result, the Town is now forced to enact guidelines to properly site commercial nursery operations in order to ensure the health, safety, and welfare of its residents.

In order to give the Town the necessary time to fully examine this matter, a zoning in progress was enacted on April 12, 2018, pursuant to Resolution No. 2018-046. The Town

needs some additional time to finalize an appropriate solution, and as such an extension of the enacted zoning in progress is necessary.

**Fiscal Impact/Analysis**

N/A

**Staff Contact:**

Keith Poliakoff, Town Attorney

**ATTACHMENTS:**

Description	Upload Date	Type
Zoning In Progress - Nurseries	4/3/2019	Resolution



**RESOLUTION NO. 2019-\_\_\_\_**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, ENACTING A ZONING IN PROGRESS, PURSUANT TO SECTION 005-240 OF THE TOWN'S UNIFIED LAND DEVELOPMENT CODE, TO FURTHER REGULATE ANY NEW COMMERCIAL NURSERY, EXPANSION OF AN EXISTING COMMERCIAL NURSERY, OR STORAGE OR GROWTH OF ANY PLANT MATERIAL IN CONTAINERS; ENACTING A ZONING IN PROGRESS FOR A PERIOD OF TIME NOT TO EXCEED SIX (6) MONTHS OR UNTIL THE TOWN'S REVISED REGULATIONS HAVE BEEN ADOPTED, WHICHEVER IS SOONER; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.**

**WHEAREAS**, as vacant lands become scarce in Broward County, more and more commercial nursery operators are looking to open commercial nursery operations within the Town; and

**WHEREAS**, although the Town prides itself on being rural, commercial nursery operations have been popping up in the middle of residential communities, without any regard to access or minimum lot size requirements; and

**WHEREAS**, the commercial traffic generated by these commercial nurseries are causing damage to the Town's rural roadway network, and creating unsafe conditions; and

**WHEREAS**, as a result, the Town is now forced to enact guidelines to properly site commercial nursery operations in order to ensure the health, safety, and welfare of its residents; and

**WHEREAS**, in order to give the Town the necessary time to fully examine this matter, a zoning in progress is necessary;

**NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA:**

**Section 1. Recitals.** That the foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Resolution.

**Section 2.** That in furtherance of Section 005-240 of the Town's Unified Land Development Code ("ULDC"), the Town Council hereby establishes a zoning in progress to further regulate any new commercial nursery, expansion of an existing commercial nursery, or storage or growing of any plant material in containers.

**Section 3.** The Town shall prohibit the creation of any new commercial nursery operation until this zoning in progress has been terminated.

**Section 4.** This zoning in progress shall place a temporary hold on the issuance of any permit, business tax receipt, or certificate of use, for any new, or the expansion of, a commercial nursery operation in the Town for a period of time not to exceed six (6) months or until the Town's revised regulations have been adopted, whichever is sooner.

**Section 5. Conflicts.** All Ordinances or parts of Ordinances, Resolutions, or parts of Resolutions in conflict herewith, be and the same are hereby repealed to the extent of such conflict.

**Section 6. Severability.** If any clause, section or other part of this Resolution shall be held by any court of competent jurisdiction to be unconstitutional or invalid, such unconstitutional or invalid part shall be considered as eliminated and in no way affecting the validity of the other provisions of this Resolution.

**Section 7. Effective Date.** This Resolution shall become effective immediately upon its passage and adoption.

**[Signatures on Following Page]**

**PASSED AND ADOPTED** by the Town Council of the Town of Southwest

Ranches, Florida, this 11<sup>th</sup> day of April 2019 on a motion by \_\_\_\_\_

and seconded by \_\_\_\_\_.

McKay \_\_\_\_\_  
Jablonski \_\_\_\_\_  
Fisikelli \_\_\_\_\_  
Hartmann \_\_\_\_\_  
Schroeder \_\_\_\_\_

Ayes \_\_\_\_\_  
Nays \_\_\_\_\_  
Absent \_\_\_\_\_  
Abstaining \_\_\_\_\_

\_\_\_\_\_  
Doug McKay, Mayor

ATTEST:

\_\_\_\_\_  
Russell Muñiz, Assistant Town Administrator/Town Clerk

Approved as to Form and Correctness:

\_\_\_\_\_  
Keith Poliakoff, J.D., Town Attorney  
34725582.1



**REGULAR MEETING MINUTES OF THE TOWN COUNCIL**  
**Southwest Ranches, Florida**

Thursday 7:00 PM

February 28, 2019

13400 Griffin Road

Present:

Mayor Doug McKay

Vice Mayor Gary Jablonski

Council Member Bob Hartmann

Council Member Denise Schroeder

Andrew Berns, Town Administrator

Russell Muñiz, Assistant Town Administrator/Town Clerk

Martin D. Sherwood, Town Financial Administrator

Keith Poliakoff, Town Attorney

Regular Meeting of the Town Council of Southwest Ranches was held at 13400 Griffin Road in the Southwest Ranches Council Chambers. The meeting, having been properly noticed, was called to order by Mayor McKay at 7:10 PM. Attendance was noted by roll call and was followed by the Pledge of Allegiance.

**3. Public Comment**

The following members of the public addressed the Town Council: Manmeet Kaur, Pavitpaul Singh, David Kuczenski, Brad McBride, Michele McBride, Greg Warren, Jim Laskey, Luke Hansford, and Mary Gay Chaples.

**4. Board Reports**

There were no board reports.

**5. Council Member Comments**

Council Member Hartmann announced that the Country Estates Homeowners Association will be having their 4<sup>th</sup> Annual Barbecue on March 30<sup>th</sup> and invited everyone to attend.

He reported that he has received various phone calls from residents with concerns about their agriculture exemption being taken away. He explained that a lot of information posted on social media is incorrect, and invited all residents who are concerned and/or would like to give their input to attend the Comprehensive Planning Board meetings to participate in the nursery landscape commercial operation ordinance discussions. Lastly, he welcomed back Council Member Schroeder who had surgery recently.

Vice Mayor Jablonski announced upcoming Town events such as the Household Hazardous Waste & Prescription Drop Off Day, Water Matters Day, and the Schools and Education Advisory Board's Barn Dance all on March 9<sup>th</sup>, the Broward County Property Appraiser's Office Outreach on March 18<sup>th</sup>, the DMV Flow Mobile on March 28<sup>th</sup> and the Sikh Society Run/Walk and the Country Estates Homeowners Association Barbecue both on March 30<sup>th</sup>. Lastly, he reminded everyone about Daylight Savings time on March 10<sup>th</sup>.

Council Member Schroeder announced that she was happy to be back and thanked everyone for all of their well wishes on her recent surgery, especially David Kuczenski, Mary Gay Chaples, Town Council, Town Staff, and friends.

Mayor McKay welcomed Council Member Schroeder back and was glad to see her looking well. He informed of his day trip to Tallahassee for Broward Days in order to lobby for the Town to receive funding for various issues. He announced another upcoming trip to Tallahassee for Broward Days. He thanked everyone for coming and asked residents to reach out to him and/or other members of Town Council if they have any issues they would like addressed.

## **6. Legal Comments**

Town Attorney Poliakoff welcomed Council Member Schroeder back and thanked everyone for coming to the meeting. Next, he presented a Power Point where he explained the ongoing issue between the Town and the McBride property. He showed a Broward County Property Appraiser's map of Palomino including the names of residents that live in that area. He explained that Palomino Drive is a unique street in Sunshine Ranches because Broward County created it with a swale and a horse trail only on one side of the road. Many years ago, there was a complaint that all of Palomino residents' fencing was not located within their property line. The residents were cited by Code Enforcement. The issue began after a hurricane blew part of the McBride's fence down, so they put up a new fence without a permit. The neighbors called to complain, so Code Enforcement Director Robert Solera cited them for not having a permit for the construction of the fence. Mr. McBride provided an after the fact survey which showed where he wanted to put up the fence. The after the fact survey was also denied because it showed that the fence was on Town property. In an effort to avoid litigation and come to a resolution, the Town Council offered for the McBride's to put their fence on their property line until it needs to be replaced, and while the Town is not building the connection to Griffin Road, they would be allowed to use 50% of the property to put a fence and gain much more property making the barn in compliance. The offer was rejected by the McBride's, and they filed suit against the Town.

Town Attorney Poliakoff went on to explain that the issue began with a developer who built two homes on Palomino, and was told that as a condition precedent to issuing the certificate of occupancy, the right of way had to be dedicated in order to finish the swale. Since the developer no longer owned the property, the Statute of Limitations Law says that if a deed has been conveyed illegally or improperly and it is not challenged in twenty years, it can no longer be challenged.

As for the other residents that live on Palomino, the Zacco's and the Caparro's, were offered the same condition as the McBride's, and signed a Maintenance Indemnification Work Agreement (MIW). The Perez's are currently working with Town Council in an effort to come to a resolution. Lastly, the Calabrese's and the Holt's have all agreed to resolve their issues, and put their fences on their property line.

The Town Council's position is to be open and willing to work together to solve the issue. They tried through mediation to resolve the issue with the McBride's, but they did not accept the offer. Therefore, the Town Council will continue with litigation, and if this goes the duration, the barn, fence, and the columns will have to come down.

## **7. Administration Comments**

Town Administrator Berns welcomed Council Member Schroeder back after her recent surgery. He added that Council Member Fisikelli was not feeling well tonight, and advised Town Council to make a motion to excuse his absence.

The following motion was made by Vice Mayor Jablonski, and seconded by Council Member Hartmann, and passed by a 4-0 roll call vote. The vote was as follows: Council Members Hartmann, Schroeder, Vice Mayor Jablonski, and Mayor McKay voting Yes.

**MOTION:** TO EXCUSE COUNCIL MEMBER FREDDY FISIKELLI.

### Resolutions

**8.** A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF SOUTHWEST RANCHES, FLORIDA, APPROVING AN AGREEMENT IN THE AMOUNT OF FIFTY-NINE THOUSAND THREE HUNDRED TWENTY-FOUR DOLLARS AND NINETY CENTS (\$59,324.90) WITH PHI CONSTRUCTION, INC. TO CONSTRUCT IMPROVEMENTS IN THE FRONTIER TRAILS CONSERVATION AREA; AUTHORIZING THE MAYOR, TOWN ADMINISTRATOR, AND TOWN ATTORNEY TO ENTER INTO AN AGREEMENT; APPROVING A BUDGET AMENDMENT TO THE FISCAL YEAR 2018/2019 BUDGET FOR THE FRONTIER TRAILS PARK IMPROVEMENT; AND PROVIDING AN EFFECTIVE DATE.

The following motion was made by Vice Mayor Jablonski, seconded by Council Member Hartmann, and passed by a 4-0 roll call vote. The vote was as follows: Council Members Hartmann, Schroeder, Vice Mayor Jablonski, and Mayor McKay voting Yes.

**MOTION: TO APPROVE THE RESOLUTION.**

### Discussion

## **9. Annual Review of Charter Officials**

Town Attorney Poliakoff explained the process for the annual review of Charter Officials. He met with Town Administrator Berns and they were seeking a 3% bonus. Town Attorney Poliakoff suggested 5%, but although Town Administrator Berns was appreciative of the Town Attorney's suggestion, he still felt that the same percentage budgeted for Staff was appropriate. Council Member Schroeder made a motion for all three Charter Officials to receive a 5% performance bonus, and Mayor McKay seconded the motion. Council Member Schroeder mentioned that similar officials at other municipalities earn significantly more money, therefore she felt that the Charter Officials deserve the 5% performance bonus.

Council Member Jablonski suggested a flat rate for a performance bonus, as opposed to a percentage rate. He opined that Town Administrator Berns should receive \$6,000.00, Town Financial Administrator Sherwood \$5,000.00, and Assistant Town Administrator/Town Clerk Muñiz, \$5,000.00. He felt that they deserved it, and that the Town could afford it. Mayor McKay expressed his support of the 5% bonus for each of them. Council Member Hartmann reminded



that Town Administrator Berns did not want more than a 3% bonus, because he would like to stay in line with Town staff.

Town Administrator Berns wanted to correct for the record that the 3% raise for staff is not a cost of living raise, and it was not given at one time. However, the 3% raise is a merit raise based on performance and could range anywhere from 0 – 3%. Since last year was a tight budget year, Town Administrator Berns opined that if merit was earned, the raise be capped at 3%. As such he felt uncomfortable accepting a percentage that is higher than the percentage that was available to Town staff. As for Town Financial Administrator Sherwood and Assistant Town Administrator/Town Clerk Muñiz, who are both Charter Officials and report to Town Council, he felt they were not the same as staff, therefore, he expressed that he had no issue with Town Council rewarding excellence or higher performance to them as they see fit.

The following motion was made by Council Member Schroeder, and seconded by Vice Mayor Jablonski, but there was no roll call vote.

**MOTION:** TO PROVIDE 5% BONUS FOR CHARTER OFFICIALS TOWN FINANCIAL ADMINISTRATOR SHERWOOD, AND ASSISTANT TOWN ADMINISTRATOR/TOWN CLERK MUNIZ, AND TO PROVIDE A 3% BONUS FOR CHARTER OFFICIAL TOWN ADMINISTRATOR BERNES.

After further discussion the Town Council agreed to award 5% performance bonus to all three Charter Officials.

The following motion was made by Council Member Schroeder, and seconded by Mayor McKay, and passed by a 4-0 roll call vote. The vote was as follows: Council Members Hartmann, Schroeder, Vice Mayor Jablonski, and Mayor McKay voting Yes.

**MOTION:** TO AWARD TOWN ADMINISTRATOR BERNES, TOWN FINANCIAL ADMINISTRATOR SHERWOOD, AND ASSISTANT TOWN ADMINISTRATOR/TOWN CLERK MUNIZ A 5% PERFORMANCE BONUS.

## **10. Proposed FY 2019-2020 Budget Calendar**

The following motion was made by Vice Mayor Jablonski, and seconded by Council Member Hartmann, and passed by a 4-0 roll call vote. The vote was as follows: Council Members Hartmann, Schroeder, Vice Mayor Jablonski, and Mayor McKay voting Yes.

**MOTION:** TO CHANGE THE 1<sup>ST</sup> BUDGET HEARING DATE FROM SEPTEMBER 11TH TO SEPTEMBER 12<sup>TH</sup>.

The following motion was made by Vice Mayor Jablonski, and seconded by Council Member Schroeder, and passed by a 4-0 roll call vote. The vote was as follows: Council Members Hartmann, Schroeder, Vice Mayor Jablonski, and Mayor McKay voting Yes.

**MOTION:** TO APPROVE THE MINUTES.

**11. Approval of Minutes**

- a. November 15, 2018
- b. January 24, 2019

**12. Adjournment** - Meeting was adjourned at 8:59 PM.

*Respectfully submitted:*

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*Ivette Solera, Deputy Town Clerk, CMC*

*Adopted by the Town Council on  
this 11<sup>th</sup> day of April, 2019.*

---

*Doug McKay, Mayor*

PURSUANT TO FLORIDA STATUTES 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS COUNCIL WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE OR SHE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, THE AFFECTED PERSON MAY NEED TO ENSURE THAT VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHERWISE INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.





## MEMORANDUM

To: City Clerks  
From: Mary Lou Tighe, Executive Director  
Date: March 20, 2019  
Re: 2019-20 Board of Director Appointments

### 2018-2019 OFFICERS

**President Tim Lonergan**  
*Commissioner, Oakland Park*  
**1st Vice President Daniel J. Stermer**  
*Mayor, Weston*  
**2nd Vice President Traci Callari**  
*Vice Mayor, Hollywood*  
**Secretary Beverly Williams**  
*Commissioner, Lauderdale Lakes*  
**Treasurer Gary Resnick**  
*Commissioner, Wilton Manors*

### DIRECTORS

**Immediate Past President Dan Daley**  
*Commissioner, Coral Springs*  
**Past President Greg Ross**  
*Mayor, Cooper City*  
**Past President Susan Starkey**  
*Councilmember, Davie*  
**Past President M. Margaret Bates**  
*Vice Mayor, Lauderhill*  
**Past President Frank Ortis**  
*Mayor, Pembroke Pines*  
**Barbara Baldassarre**  
*Commissioner, Hillsboro Beach*  
**Gloria Battle**  
*Vice Mayor, Deerfield Beach*  
**Peggy Brown**  
*Commissioner, Weston*  
**Felicia Brunson**  
*Commissioner, West Park*  
**Anthony Caggiano**  
*Mayor, Margate*  
**Mark Douglas**  
*Deputy Mayor, Sunrise*  
**Rhonda Eaton**  
*Commissioner, Pompano Beach*  
**Justin Flippen**  
*Mayor, Wilton Manors*  
**Michelle Gomez**  
*Mayor, Tamarac*  
**Bill Harris**  
*Commissioner, Dania Beach*  
**Dale Holness**  
*Vice Mayor, Broward County*  
**Anabelle Lima-Taub**  
*Commissioner, Hallandale Beach*  
**Bob Mayersohn**  
*Commissioner, Parkland*  
**Doug McKay**  
*Mayor, Southwest Ranches*  
**Wayne Messam**  
*Mayor, Miramar*  
**Ashira Mohammed**  
*Mayor, Pembroke Park*  
**Heather Moraitis**  
*Commissioner, Fort Lauderdale*  
**Tim Neal**  
*Councilmember, Sea Ranch Lakes*  
**Alfred "Buz" Oldaker**  
*Commissioner, Lauderdale-by-the-Sea*  
**Iris Siple**  
*Commissioner, Pembroke Pines*  
**Lynn Stoner**  
*Mayor, Plantation*  
**Ken Thurston**  
*Mayor, Lauderhill*  
**Becky Tooley**  
*Commissioner, Coconut Creek*  
**Glenn Troast**  
*Mayor, Lighthouse Point*  
**Lorenzo Wood**  
*Commissioner, North Lauderdale*

**Samuel S. Goren, Esquire**  
*Goren Cherof Doody & Ezrol, P.A.*  
*Legal Counsel*

**Mary Lou Tighe**  
*Executive Director*  
**Sely Cochran**  
*Deputy Executive Director*

According to the League By-Laws:

- Each city shall appoint a Director, Alternate, and Second Alternate to attend and vote at any Board of Directors or General Membership meeting held where he/she represents his/her municipality.
- It is the responsibility of each Director to communicate with his/her respective municipal officials, employees, and constituents concerning actions taken or to be taken by the Board of Directors or the general membership. Directors are responsible for bringing issues of collective importance to the attention of the Board of Directors.
- Each member of the Board of Directors shall notify his or her Alternate to attend Board of Director Meetings when that voting member will not attend. The Alternate shall have the right to participate and vote. In the event the Alternate cannot attend, the Alternate shall notify his or her Second Alternate to attend Board of Director meetings when the Alternate cannot attend. The Second Alternate shall have the right to participate and vote.

Please agenda the selection of your Director, Alternate, and Second Alternate for your **next** commission meeting **as the deadline for board appointments is April 18, 2019**. The term will begin on May 18, 2019 and end in May of 2020.

Please forward the information below to [scochrane@browardleague.org](mailto:scochrane@browardleague.org).

=====

**Municipality:** \_\_\_\_\_

**Commissioner/Council Appointments:** \_\_\_\_\_

**Director:** \_\_\_\_\_

**Alternate:** \_\_\_\_\_

**Second Alternate:** \_\_\_\_\_